



20 June 2016

Dear Tenderers,

Tender Reference No. (267) in P/AE/PUR/AGC

**Renovation Works of New Headquarters
for Construction Industry Council**

Tender Addendum No. 1

We refer to the tender document issued to you on 8 June 2016 for the captioned project. Please find enclosed herewith Tender Addendum No. 1 consisting of:

A) Information Update

1. Conditions of Tendering – Appendix D – Fee Proposal* (Page CT-37*, Pages CT-61* to CT-70*, Pages CT-88* to CT-91*, Pages CT-97* to CT-102* and Pages CT-108* to CT-111*).
2. Assignment Brief - (Page AB-1*).
3. Annex 2 of Assignment Brief – Tender Drawings (Pages AB-105* to AB-107*).

Please replace the corresponding pages in the tender documents by the revised pages being marked with an asterisk (*).

B) Drawing Replacement

1. Annex 2 of Assignment Brief – Tender Drawings – Drawing No. DL-01 is replaced by Drawing No. DL-01-R1.
2. Annex 2 of Assignment Brief – Tender Drawings – Drawing No. 38-AC-01 is replaced by Drawing No. 38-AC-01-R1.

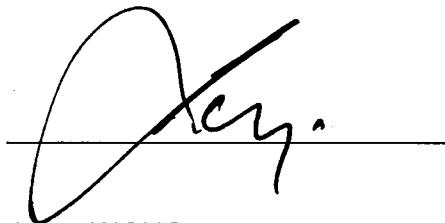
C) Supplementary

1. Annex 2 of Assignment Brief – Tender Drawings – Drawing Nos. 38-SP-03, 38-SP-04 and 38-SP-05.
2. Annex 2 of Assignment Brief – Tender Drawings – Drawing Nos. 39-SP-03, 39-SP-04 and 39-SP-05.
3. Annex 4 of Assignment Brief - Allied Kajima Building Fitting-out Procedure (19 pages)
4. Annex 5 of Assignment Brief - Building Services Installation in Compliance with Building Energy Code 2015 (5 pages)

The above amendments shall be effective immediately and Tender Addendum No. 1 shall form part of the tender document. Please acknowledge receipt of the aforementioned information by signing below and returning this letter by fax at (852) 2100 9439 or by e-mail to joivywong@cic.hk **by 27 June 2016.**

Yours sincerely,
For and on behalf of
Construction Industry Council

Accepted and Confirmed by
Company Name:



Justin WONG
Manager
Projects & Contracts Administration



Name:
Position:
Date:

/JW

Section 4 – Wall Finishes (Cont'd)

Items	Description	Provisional Quantity	Rate (HK\$)	Amount (HK\$)
4.12	Meeting Room (39/F) – Supply & install crystal glass panel with white paint backing for white board and recessed s/s pen tray (Refer to Drawing Nos. 39-E-03 and D-10)	15 SM		
4.13	Pantry (38/F) - Supply & install crystal glass panel with white paint backing (Refer to Drawing Nos. 38-E-15 and 38-E-16)	20 SM		
4.14	Pantry (39/F) - Supply & install crystal glass panel with white paint backing (Refer to Drawing No. 39-E-04)	2 SM		
4.15	Pantry (38/F) - Supply & install wall tiles wall finish (Refer to Drawing Nos. 38-E-15 and 38-E-16 and Material Schedule MAS-05/ ST-23)	10 SM		
4.16	Chairman and ED room (38/F) - Supply & install echo panel wall finish (Refer to Drawing Nos. 38-E-17, 38-E-18 and 38-E-20 and Material Schedule MAS-01 / A-08)	12 SM		
4.17	Machine room (38/F and 39/F) - Supply & install echo panel wall finish (Refer to Drawing No. 38-E-21 and Material Schedule MAS-01 / A-01)	55 SM		
4.18	Male and Female Toilet (38/F) – Supply & install wall tiles including full height water proofing layer finish and including to make good & level up existing floor leveling - The leveling conditions subject to the CIC and its consultant’s satisfaction - Including to demolish existing wall finishes (Refer to Drawing Nos. 38-E-22 and 38-E-23 and Material Schedule MAS-05 / ST-06)	80 SM		
4.19	Phone booth, Board and Meeting room (38/F and 39/F) - Supply & install echo panel wall finishes (Refer to Drawing no. 38-FP-01 and 39-FP-01 and Material Schedule MAS-01 / A-04)	268 SM		

Section 8 – Heating Ventilation and Air Conditioning Works (Cont’d)

Items	Description	Provisional Quantity	Rate (HK\$)	Amount (HK\$)
8.02	<p>Supply and install New ceiling mounted “TEMPERZONE” water cooled packaged unit:</p> <p>- 38/F:</p> <p>a) HWP – 58</p> <p>b) HWP – 77</p> <p>c) HWP – 96</p> <p>d) HWP – 139</p> <p>- 39/F:</p> <p>a) HWP – 58</p> <p>- Including new motorized on/off valve with by-pass pipe and all associated works</p> <p>- Including cleaning prior to normal operation</p> <p>- Including valve and all necessary part & accessories</p> <p>- Transportation and freight charge</p> <p>- A/C proposal, unit location and capacity and piping routing to be submitted by the Contractor for the CIC and its consultant’s approval prior to the purchasing and commencement</p> <p>(Refer to Drawing Nos. 38-MW-02, 38-AC-01-R1, 39-MW-02 and 39-AC-01)</p>	<p>14 Sets</p> <p>1 Set</p> <p>3 Sets</p> <p>1 Set</p> <p>5 Sets</p>		

Section 8 – Heating Ventilation and Air Conditioning Works (Cont'd)

Items	Description	Provisional Quantity	Rate (HK\$)	Amount (HK\$)
8.03	<p>Supply and install New condensate water pipes and condensate drain pipes for new ceiling mounted “TEMPERZONE” water cooled packaged unit:</p> <p>- 38/F:</p> <p>a) HWP – 58</p> <p>b) HWP – 77</p> <p>c) HWP – 96</p> <p>d) HWP – 139</p> <p>- 39/F:</p> <p>a) HWP – 58</p> <p>- Including valve and all necessary part & accessories</p> <p>- A/C proposal, unit location and capacity and piping routing to be submitted by the Contractor for the CIC and its consultant’s approval prior to the purchasing and commencement</p> <p>(Refer to Drawing Nos. 38-MW-02, 38-AC-01-R1, 39-MW-02 and 39-AC-01)</p>	<p>14 Sets</p> <p>1 Set</p> <p>3 Sets</p> <p>1 Set</p> <p>5 Sets</p>		

Section 8 – Heating Ventilation and Air Conditioning Works (Cont’d)

Items	Description	Provisional Quantity	Rate (HK\$)	Amount (HK\$)
8.04	<p>Supply labour and materials to modify existing condensate water pipes and condensate drain pipes for new ceiling mounted “TEMPERZONE” water cooled packaged unit:</p> <p>- 38/F:</p> <p>a) HWP – 96</p> <p>b) HWP – 117</p> <p>c) HWP – 139</p> <p>d) HWP – 170</p> <p>- 39/F:</p> <p>a) HWP – 117</p> <p>b) HWP – 139</p> <p>c) HWP – 170</p> <p>- Including supply and install new materials & piping</p> <p>- Including valve and all necessary part & accessories</p> <p>- A/C proposal, unit location and capacity and piping routing to be submitted by the Contractor for the CIC and its consultant’s approval prior to the purchasing and commencement</p> <p>(Refer to Drawing Nos. 38-MW-02, 38-AC-01-R1, 39-MW-02 and 39-AC-01)</p>	<p>5 Sets</p> <p>4 Sets</p> <p>3 Sets</p> <p>4 Sets</p> <p>2 Sets</p> <p>4 Sets</p> <p>1 Set</p>		
8.05	<p>Supply and install New flexible joint between supply air duct and return air plenum for all ceiling mounted “TEMPERZONE” water cooled packaged unit:</p> <p>(2 Nos. for 1 set of A/C unit)</p> <p>- 38/F: 35 set of A/C unit x 2 Nos.</p> <p>- 39/F: 12 set of A/C unit x 2 Nos.</p> <p>- Including all necessary part & accessories</p> <p>- A/C proposal, unit location and capacity and piping routing to be submitted by the Contractor for the CIC and its consultant’s approval prior to the purchasing and commencement</p> <p>(Refer to Drawing Nos. 38-MW-02, 38-AC-01-R1, 39-MW-02 and 39-AC-01)</p>	<p>70 Sets</p> <p>24 Sets</p>		

Section 8 – Heating Ventilation and Air Conditioning Works (Cont’d)

Items	Description	Provisional Quantity	Rate (HK\$)	Amount (HK\$)
8.06	<p>Supply and install New electric control wiring with thermostat for all ceiling mounted “TEMPERZONE” water cooled packaged unit:</p> <ul style="list-style-type: none"> - 38/F - 39/F - Including G.I. conduit all necessary wiring & accessories - A/C proposal, unit location and capacity and piping routing to be submitted by the Contractor for the CIC and its consultant’s approval prior to the purchasing and commencement <p>(Refer to Drawing Nos. 38-MW-02, 38-AC-01-R1, 39-MW-02 and 39-AC-01)</p>	<p>35 Sets 12 Sets</p>		
8.07	<p>Supply and install G.I. supply air ducting and flexible duct with insulation and internal lining for existing ceiling mounted “TEMPERZONE” water cooled packaged unit:</p> <ul style="list-style-type: none"> - 38/F - 39/F - Including cleaning prior to normal operation - Including all necessary part & accessories - A/C proposal, unit location and capacity and piping routing to be submitted by the Contractor for the CIC and its consultant’s approval prior to the purchasing and commencement <p>(Refer to Drawing Nos. 38-MW-02, 38-AC-01-R1, 39-MW-02 and 39-AC-01)</p>	<p>35 Sets 12 Sets</p>		

Section 8 – Heating Ventilation and Air Conditioning Works (Cont’d)

Items	Description	Provisional Quantity	Rate (HK\$)	Amount (HK\$)
8.08	<p>Supply and install G.I. supply air ducting and flexible duct with insulation and internal lining for new ceiling mounted “TEMPERZONE” water cooled packaged:</p> <ul style="list-style-type: none"> - 38/F - 39/F - Including cleaning prior to normal operation - Including all necessary part & accessories - A/C proposal, unit location and capacity and piping routing to be submitted by the Contractor for the CIC and its consultant’s approval prior to the purchasing and commencement - (Refer to Drawing Nos. 38-MW-02, 38-AC-01-R1, 39-MW-02 and 39-AC-01) 	<p>35 Sets 12 Sets</p>		
8.09	<p>Supply and install G.I. return air plenum, ducting, flexible duct with insulation and internal lining and filter for existing ceiling mounted “TEMPERZONE” water cooled packaged unit:</p> <ul style="list-style-type: none"> - 38/F - 39/F - Including cleaning prior to normal operation - Including all necessary part & accessories - A/C proposal, unit location and capacity and piping routing to be submitted by the Contractor for the CIC and its consultant’s approval prior to the purchasing and commencement - (Refer to Drawing Nos. 38-MW-02, 38-AC-01-R1, 39-MW-02 and 39-AC-01) 	<p>35 Sets 12 Sets</p>		

Section 8 – Heating Ventilation and Air Conditioning Works (Cont'd)

Items	Description	Provisional Quantity	Rate (HK\$)	Amount (HK\$)
8.10	<p>Supply and install G.I. supply and return air boot with flexible duct with insulation for all ceiling mounted “TEMPERZONE” water cooled packaged unit:</p> <ul style="list-style-type: none"> - 38/F - 39/F - Including cleaning prior to normal operation - Including all necessary part & accessories - A/C proposal, unit location and capacity and piping routing to be submitted by the Contractor for the CIC and its consultant’s approval prior to the purchasing and commencement - (Refer to Drawing Nos. 38-MW-02, 38-AC-01-R1, 39-MW-02 and 39-AC-01) 	<p>35 Sets 12 Sets</p>		
8.11	<p>Supply and install G.I. fresh air ducting, flexible duct with insulation connected to return air plenum for existing ceiling mounted “TEMPERZONE” water cooled packaged unit:</p> <ul style="list-style-type: none"> - 38/F - 39/F - Including cleaning prior to normal operation - Including all necessary part & accessories - A/C proposal, unit location and capacity and piping routing to be submitted by the Contractor for the CIC and its consultant’s approval prior to the purchasing and commencement - (Refer to Drawing Nos. 38-MW-02, 38-AC-01-R1, 39-MW-02 and 39-AC-01) 	<p>35 Sets 12 Sets</p>		

Section 8 – Heating Ventilation and Air Conditioning Works (Cont'd)

Items	Description	Provisional Quantity	Rate (HK\$)	Amount (HK\$)
8.12	38/F – Supply labour and materials to dismantle and modify existing supply air ducting for Lift Lobby: <ul style="list-style-type: none"> - Including cleaning prior to normal operation - Including all necessary part & accessories - A/C proposal, unit location and capacity and piping routing to be submitted by the Contractor for the CIC and its consultant’s approval prior to the purchasing and commencement (Refer to Drawing Nos. 38-MW-02 and 38-AC-01-R1)	1	Sum	
8.13	Supply and install Supply air diffuser for all ceiling mounted “TEMPERZONE” water cooled packaged unit: <ul style="list-style-type: none"> - 38/F - 39/F - 600 x 600 mm in aluminum with white powder coat - Double deflection adjustable grille diffuser - Including cleaning prior to normal operation - A/C proposal, unit location and capacity and piping routing to be submitted by the Contractor for the CIC and its consultant’s approval prior to the purchasing and commencement - (Refer to Drawing Nos. 38-MW-02, 38-AC-01-R1, 39-MW-02 and 39-AC-01) 	66 Sets 28 Sets		

Section 8 – Heating Ventilation and Air Conditioning Works (Cont’d)

Items	Description	Provisional Quantity	Rate (HK\$)	Amount (HK\$)
8.14	<p>Supply and install Return air louvre and filter for all ceiling mounted “TEMPERZONE” water cooled packaged unit:</p> <ul style="list-style-type: none"> - 38/F - 39/F - 1,200 x 600mm / 600 x 600mm in aluminum with white powder coat - Including cleaning prior to normal operation - A/C proposal, unit location and capacity and piping routing to be submitted by the Contractor for the CIC and its consultant’s approval prior to the purchasing and commencement - (Refer to Drawing No. 38-MW-02, 38-AC-01-R1, 39-MW-02 and 39-AC-01) 	<p>35 Sets 12 Sets</p>		

Section 8 – Heating Ventilation and Air Conditioning Works (Cont’d)

Items	Description	Provisional Quantity	Rate (HK\$)	Amount (HK\$)
8.15	<p>Supply and install linear diffuser for Supply and Return air (with filter) and black plate covering (dummy) for all ceiling mounted “TEMPERZONE” water cooled packaged unit:</p> <ul style="list-style-type: none"> - 38/F - 39/F - 200mm W in aluminum with white powder coat - adjustable directional grille diffuser - Including cleaning prior to normal operation - A/C proposal, unit location and capacity and piping routing to be submitted by the Contractor for the CIC and its consultant’s approval prior to the purchasing and commencement - (Refer to Drawing Nos. 38-MW-02, 38-AC-01-R1, 39-MW-02 and 39-AC-01) 	<p>105 LM 25 LM</p>		
8.16	<p>Supply and install 24/Hours A/C system for Server and Hub Rooms</p> <ul style="list-style-type: none"> - 38/F - 39/F - Including all necessary G.I. sheet A/C Air Ductworks with fiberglass insulation - Aluminum Supply Air Diffusers (Double Deflection Adjustable Grille Diffuser) and Aluminum Return Air Louver in white paint fin. - Timer Control and Auto Change Setting Controller - (Refer to Drawing Nos. 38-MW-02, 38-AC-01-R1, 39-MW-02 and 39-AC-01) 	<p>1 Set 1 Set</p>		
8.17	<p>Supply & install all necessary power supply for each indoor A/C unit, G.I. conduits, cabling, and all associated works, etc.</p>	1	Sum	

Section 14 – CCTV and Security System

Items	Description	Provisional Quantity	Rate (HK\$)	Amount (HK\$)
14.01	<p>Supply & install all necessary power supply, conduits, cabling, and associated works, etc.</p> <ul style="list-style-type: none"> - subject to CIC's final requirement and approval prior to commencement - (Refer to Drawing nos. 38-CP-01, 38-SP-05, 39-CP-01 and 39-SP-05) 	1	Sum	
14.02	<p>Supply & install Fiber Optic cable with all necessary trucking and protective conduit between 38/F and 39/F</p> <ul style="list-style-type: none"> - subject to CIC's final requirement and approval prior to commencement - (Refer to Drawing nos. 38-CP-01, 38-SP-05, 39-CP-01 and 39-SP-05) 	1	Sum	
14.03	<p>Supply & install Fiber Optic cable with all necessary trucking and protective conduit between 38/F and 39/F for CCTV main control system</p> <ul style="list-style-type: none"> - subject to CIC's final requirement and approval prior to commencement - (Refer to Drawing nos. 38-CP-01, 38-SP-05, 39-CP-01 and 39-SP-05) 	1	Sum	
14.04	<p>Supply & install all necessary power supply, conduits, cabling, and associated works, etc.</p> <ul style="list-style-type: none"> - subject to CIC's final requirement and approval prior to commencement - (Refer to Drawing nos. 38-CP-01, 38-SP-05, 39-CP-01 and 39-SP-05) 	1	Sum	
14.05	<p>Supply & install 1 set of 19" rack to house all equipment with 13A power strip board, ventilation fans cable tray, rack mounting shelves</p>	1 Set		

Section 14 – CCTV and Security System (Cont'd)

Items	Description	Provisional quantity	Rate HK\$	Amount HK\$
14.06	Supply & install Fiber Optic cable with all necessary trucking and protective conduit between 38/F and 39/F for Security main control system - subject to CIC's final requirement and approval prior to commencement - (Refer to Drawing nos. 38-CP-01, 38-SP-05, 39-CP-01 and 39-SP-05)	1	Sum	
Section 14 - Total :				

- Notes:
- 14.1 The Contractor shall submit details for the CIC and its consultant's approval
 - 14.2 The Contractor shall allow system planning, system programming, testing & commissioning, training service, user manual documents, 12 months maintenance services include on site labour and replacement of parts.
 - 14.3 The Contractor shall state the origin, manufacture, brand, model, type, etc. wherever equivalent material be proposed.
 - 14.4 Specification for item section:
 Building's Maintenance Contractor "The Jardine Engineering Corporation Ltd."
 Contact person: Mr. Gary Cheng Phone no.: 2807 4866 / 6656 1636
 Email: gary.mf.cheng@jec.com

Section 15 – Audio & Visual / Public Address System

Items	Description	Provisional Quantity	Rate (HK\$)	Amount (HK\$)
	(Refer to Annex: AV-01, AV-02 and AV-03)			
	Sound System & Audio Teleconference System			
15.01	Supply and install Digital Audio Mixer	1 Set		
15.02	Supply & install Table Type/Flush Mount Conference Microphone set(chairman unit x2, delegate unit x2, interpreter unit x2)	22 Sets		
15.03	Supply & install Conference Microphone System/processor(with Power Supply & Complete License)	1 Set		
15.04	Supply & install Single Channel UHF wireless Mic with receiver (Handheld type)	4 Sets		
15.05	Supply & install Flush Mount Ceiling Speaker	16 Sets		
15.06	Supply & install Active Monitor Speaker for Control Room	1 Set		
15.07	Supply & install VoIP Interface for audio teleconference	1 Set		
15.08	Supply & install 8 Channels Audio Power Amplifier	3 Sets		
15.09	Supply & install Digital Audio Recorder	2 Sets		
15.10	Supply & install 1/4" 24 ports Audio Patch Panel	1 Set		
	Video Wall , Video Projection & Display System			
15.11	Supply & install Video Display Panel (Planer, LX55HDU, 55") set with accessories	4 Sets		
15.12	Supply & install Video Display Panel Front Access Wall Mount Kit	4 Sets		
15.13	Supply & install Video Wall Controller/Processor with RPS (Clarity)	1 Set		
15.14	Supply & install Short thro Video Projector or Projector with Short Throw Lens(subject to site inspection) *3 years free warranty with on-site labour & parts and included mounting kit	8 Sets		
15.15	Supply & install Projector Lift	2 Sets		
15.16	Supply & install Wall Button for Projector Lift Up/STOP/Down	2 Sets		

Section 15 – Audio & Visual / Public Address System (Cont'd)

Items	Description	Provisional Quantity	Rate (HK\$)	Amount (HK\$)
15.17	Supply & install Electric motorized Screen Tab Tension 133", 16:10	2 Sets		
15.18	Supply & install Electric motorized Screen Tab Tension 110", 16:10	6 Sets		
15.19	Supply & install Wall Button for Projection screen Up/STOP/Down	8 Sets		
15.20	Supply & install 70"/75" HD LCD iDTV Monitor	3 Sets		
15.21	Supply & install LED Wall Mount Kit for LED TV	3 Sets		
15.22	Supply & install HDMI & VGA Extender(Tx & Rx) for Projector and TV	10 Sets		
15.23	Supply & install Input plate & module for LED TV	7 Sets		
15.24	Supply & install HD LCD Monitor (Philips, 22")	1 Set		
15.25	Supply & install TV Top-Box	2 Sets		
15.26	Supply & install Digital Signage Media Player (Cayin, SMP-8000)	1 Set		
15.27	Supply & install Sound Bar System (Yamaha, YSP-1600)	1 Set		
15.28	Supply & install Multi-format Scalering switch System	1 Set		
15.29	Supply & install Audio Extender	1 Set		
	Video Conference System			
15.30	Supply & install Video Conference Central Unit with camera (Polycom, RealPresence Group 700 with EagleEye IV)	1 Set		
15.31	Supply & install Conference Camera with Power Supply	1 Set		
15.32	Supply & install Conference Camera breakout cable	1 Set		
15.33	Supply & install Conference Camera mounting kit	1 Set		
15.34	Supply & install Multi-Point License for Video Conference Connection	1 Set		
	Signal Routing System			
15.35	Supply & install 8x8 HDMI matrix switcher	1 Set		
15.36	Supply & install HDMI & VGA input module & Transmitter	8 Sets		
15.37	Supply & install HDMI & DM & Audio Output module & Receiver scaler-function)	7 Sets		
15.38	Supply & install Analog output module	1 Set		
15.39	Supply & install HDMI Audio Extractor	4 Sets		
15.40	Supply & install Wall plate/Floor Box type input for VGA, HDMI & XLR(cannon) input	6 Sets		

Section 17 – Finishes by Specialists (Cont'd)

Items	Description	Provisional Quantity	Rate (HK\$)	Amount (HK\$)
17.02	<p>Supply and install “LUTRON” control system for 38/F including as follows:</p> <p>1) Wireless motion sensor and Pico for D/AD Room, Machine room, Mail Room, Sec. area:</p> <p>1a) QSNE-4T10-D 1b) LRF7-OCR2B-P-WH 1c) LRF7-SSM-CLA 1d) QSM7-XW-C 1e) PQ-3BRL-TAW-L01 1f) PQ-3BRL-TAW-S01 1g) LPFP-S2-TAW 1h) LRF7-DCRB-WH 1i) QSE-IO</p> <p>2) Scene setting for Board Room, Meeting Room, Chairman Room, ED Room:</p> <p>2a) QSNE-4T10-D 2b) QSNE-4A-D 2c) QSE-CI-NWK-E 2d) QSWE-10BRLN-AW 2e) LRF7-DCRB-WH 2f) LRF7-OCR2B-P-WH 2g) LRF7-SSM-CLA 2h) QSM7-XW-C 2i) QSE-IO</p> <p>(Refer to Drawing Nos. 38-EP-01, 38-SP-01, 38-SP-02, 38-SP-03, 38-SP-04, 39-EP-01, 39-SP-01, 39-SP-02, 39-SP-03 and 39-SP-04)</p>	<p>2 Sets 9 Sets 1 Set 5 Sets 8 Sets 8 Sets 8 Sets 1 Set 5 Sets 3 Sets 4 Sets 1 Set 8 Sets 5 Sets 8 Sets 5 Sets 5 Sets 9 Sets</p>		

Section 17 – Finishes by Specialists (Cont'd)

Items	Description	Provisional Quantity	Rate (HK\$)	Amount (HK\$)
17.03	<p>Supply and install “LUTRON” control system for 39/F including as follows:</p> <p>1) General: 1a) PD9-64-F</p> <p>2) Time clock with time extension, including window daylight sensor, via Pico for open office, corridor:</p> <p>2a) QSNE-4T10-D 2b) QSNE-4A-D 2c) QSM7-XW-C 2d) PQ-3BRL-TAW-L01 2e) PQ-3BRL-TAW-S01 2f) LPFP-S2-TAW 2g) QSWE-10BRLN-AW 2h) LRF7-SSM-CLA 2i) LRF7-DCRB-WH 2j) LRF7-OCR2B-P-WH</p> <p>(Refer to Drawing Nos. 38-EP-01, 38-SP-01, 38-SP-02, 38-SP-03, 38-SP-04, 39-EP-01, 39-SP-01, 39-SP-02, 39-SP-03 and 39-SP-04)</p>	<p>1 Set</p> <p>3 Sets 1 Set 4 Sets 5 Sets 5 Sets 5 Sets 2 Sets 5 Sets 5 Sets 3 Sets</p>		

Section 17 – Finishes by Specialists (Cont'd)

Items	Description	Provisional Quantity	Rate (HK\$)	Amount (HK\$)
17.04	<p>Supply and install “LUTRON” control system for 39/F including as follows:</p> <p>1) Wireless motion sensor and Pico for D/AD Room, Machine room, Filing Room, Pantry, Service Counter:</p> <p>1a) QSNE-4A-D 1b) QSNE-4T10-D 1c) LRF7-OCR2B-P-WH 1d) LRF7-SSM-CLA 1e) QSM7-XW-C 1f) PQ-3BRL-TAW-L01 1g) PQ-3BRL-TAW-S01 1h) LPFP-S2-TAW 1i) LRF7-DCRB-WH 1j) QSE-IO</p> <p>2) Scene setting for Meeting Room:</p> <p>2a) QSNE-4T10-D 2b) QSNE-4A-D 2c) QSE-CI-NWK-E 2d) QSWE-10BRLN-AW 2e) LRF7-DCRB-WH 2f) LRF7-OCR2B-P-WH 2g) LRF7-SSM-CLA 2h) QSE-IO</p> <p>(Refer to Drawing Nos. 38-EP-01, 38-SP-01, 38-SP-02, 38-SP-03, 38-SP-04, 39-EP-01, 39-SP-01, 39-SP-02, 39-SP-03 and 39-SP-04)</p>	<p>1 Set 2 Sets 6 Sets 1 Set 3 Sets 6 Sets 6 sets 6 Sets 1 Set 1 Set 1 Set 1 Set 1 Set 1 Set 1 Set 1 Set 1 Set 1Set</p>		

Section 17 – Finishes by Specialists (Cont’d)

Items	Description	Provisional Quantity	Rate (HK\$)	Amount (HK\$)
17.05	<p>Supply and install “LUTRON” control system for 38/F and 39/F including as follows:</p> <p>1) Standalone Tripak and Motion sensor and including factory commissioning:</p> <p>1a) RMQ-5R-DV-8 1b) LRF7-OCR2B-P-WH 1c) PQ-2B-TAW-L01 1d) LPFP-S1-TAW</p> <p>(Refer to Drawing Nos. 38-EP-01, 38-SP-01, 38-SP-02, 38-SP-03, 38-SP-04, 39-EP-01, 39-SP-01, 39-SP-02, 39-SP-03 and 39-SP-04)</p>	<p>7 Sets 7 Sets 7 Sets 7 Sets</p>		
17.06	<p>Supply and install “LUTRON” curtain shading system for 38/F and 39/F including as follows:</p> <p>1) General:</p> <p>1a) QSPS-P2-10-60 / Sivoia QS (24V) smart power supply panel – 230 V 1b) WIN-BRK-100DN/Sivoia QS dual narrow bracket kit, roller 100/150/200CW/300LIFT 1c) WIN-BRK-100DN/Sivoia QS coupled dual bracket kit, roller 100/150/200CW/300LIFT 1d) all necessary power supply, control wiring, conduits and all associated works</p> <p>2) electrical window roller blinds (material SS-ED03-4):</p> <p>2a) Sivoia QS couple 2-panel roller blind 100 aluminium 2b) Sivoia QS couple 3-panel roller blind 100 aluminium 2c) Sivoia QS couple 4-panel roller blind 150 64mm aluminium 2d) Sivoia QS 1-panel roller blind 100 aluminium</p> <p>(Refer to Drawing Nos. 38-EP-01, 38-SP-01, 38-SP-02, 38-SP-03, 38-SP-04, 39-EP-01, 39-SP-01, 39-SP-02, 39-SP-03 and 39-SP-04)</p>	<p>6 Sets 7 Sets 3 Sets 1 5 Sets 21 Sets 17 Sets 3 Sets</p>	<p>Sum</p>	

Section 17 – Finishes by Specialists (Cont'd)

Items	Description	Provisional Quantity	Rate (HK\$)	Amount (HK\$)
17.07	<p>Supply and install “LUTRON” curtain shading system for 38/F and 39/F including as follows:</p> <p>1) electrical window roller blinds (material BP-P62-0) Board and Meeting Room:</p> <p>1a) Sivoia QS couple 2-panel roller blind 100 aluminium 1b) Sivoia QS couple 3-panel roller blind 100 aluminium 1c) Sivoia QS couple 4-panel roller blind 150 64mm aluminium 1d) all necessary power supply, control wiring, conduits and all associated works</p> <p>(Refer to Drawing Nos. 38-EP-01, 38-SP-01, 38-SP-02, 38-SP-03, 38-SP-04, 39-EP-01, 39-SP-01, 39-SP-02, 39-SP-03 and 39-SP-04)</p>	<p>1 Set 5 Sets 1 Set 1</p>	<p> Sum</p>	

Section 19 – Reinstatement work for existing HQ

Items	Description	Provisional Quantity	Rate (HK\$)	Amount (HK\$)
19.01	<p>Reinstatement works for existing HQ 15/F and 19/F of Allied Kajima Building, Wanchai. includes as follow: (Final requirement subject to the CIC and its consultant and approval of Allied Kajima Building’ BMO and Landlord prior to commencement. Provisional sum and quantities subject to the final measurement and approval of the CIC and its consultant.)</p> <p>A) To demolish and cart away all partitions, doors, cabinets, fixtures, fittings, finishes, gypsum board ceiling, ceiling mounted track, floor finishes and all associated works to fit to handover bare shell condition.</p> <p>B) To make good concrete floor and trunking after removal of floor finishes and all floor mounted socket, outlet, fixture, fitting and all associated works to fit to handover bare shell condition.</p> <p>C) To take away all wall finishes and apply new white emulsion paint fin. (3 coats) after the demolition and all associated works to fit to handover bare shell condition</p> <p>D) To make good false ceiling system including to modify, supply and install new ceiling grid and tiles (match existing) and all associated works to fit to handover bare shell condition</p> <p>E) Debris removal and final cleaning</p> <p>F) CAR & ECP insurance</p> <p>G) Night Work and non-office hour work</p> <p>H) To modify and make good all related public area’s facilities and false ceiling which affected by the captioned works and subject to the requirement and approval of BMO and Landlord</p> <p>I) provision of 1 set of hard copy and softcopy of proposal and as-fitted drawings in AutoCAD format for submission</p> <p>(The Contractor shall submit related details, drawings, schedule and method statement for approval and coordination with the CIC and its consultant prior to the commencement)</p>	<p>1</p> <p>1</p> <p>1</p> <p>1</p> <p>1</p> <p>1</p> <p>1</p> <p>1</p> <p>1</p> <p>1</p>	<p>Sum</p> <p>Sum</p> <p>Sum</p> <p>Sum</p> <p>Sum</p> <p>Sum</p> <p>Sum</p> <p>Sum</p> <p>Sum</p>	

Section 19 – Reinstatement work for existing HQ (Cont'd)

Items	Description	Provisional Quantity	Rate (HK\$)	Amount (HK\$)
19.02	<p>Reinstatement works for existing HQ 15/F and 19/F of Allied Kajima Building, Wanchai. includes as follow: (Final requirement subject to the CIC and its consultant and approval of Allied Kajima Building’ BMO and Landlord prior to commencement. Provisional sum and quantities subject to the final measurement and approval of the CIC and its consultant.)</p> <p>A) To dismantle, demolish and cart away all sockets, ELV outlets, trunkings, conduits, cable trays, and all associated works to fit to handover bare shell condition.</p> <p>B) To dismantle, demolish and cart existing MCB and main cable to meter room and all associated works to fit to handover bare shell condition. - allow HK\$ 50,000 for provisional sum</p> <p>C) To dismantle, demolish and cart away power point and wiring for all light fittings, and all associated works to fit to handover bare shell condition</p> <p>D) To reinstate existing light box and all associated works to fit to handover bare shell condition</p> <p>E) CAR & ECP insurance</p> <p>F) Night Work and non-office hour work</p> <p>G) To modify and make good all related public area’s facilities and false ceiling which affected by the captioned works and subject to the requirement and approval of BMO and Landlord</p> <p>H) provision of 1 set of hard copy and softcopy of proposal and as-fitted drawings in AutoCAD format for submission</p> <p>(The Contractor shall submit related details, drawings, schedule and method statement for approval and coordination with the CIC and its consultant prior to the commencement)</p>	<p>1</p> <p>1</p> <p>1</p> <p>1</p> <p>1</p> <p>1</p> <p>1</p> <p>1</p> <p>1</p>	<p>Sum</p> <p>Sum</p> <p>Sum</p> <p>Sum</p> <p>Sum</p> <p>Sum</p> <p>Sum</p> <p>Sum</p>	<p>50,000</p>

Section 19 – Reinstatement work for existing HQ (Cont'd)

Items	Description	Provisional Quantity	Rate (HK\$)	Amount (HK\$)
19.03	<p>Reinstatement works for existing HQ 15/F and 19/F of Allied Kajima Building, Wanchai. includes as follow: (Final requirement subject to the CIC and its consultant and approval of Allied Kajima Building’ BMO and Landlord prior to commencement. Provisional sum and quantities subject to the final measurement and approval of the CIC and its consultant.)</p> <p>A) To dismantle, reinstatement of MVAC system including demolish and cart away air duct, diffuser, thermostat and including modification of reinstatement, relocation, cleaning, chemical treatment, air quality test certification, etc. and all associated works to fit to handover bare shell condition - allow HK\$ 200,000 for provisional sum</p> <p>B) To dismantle 24/HR AC indoor units and outdoor unit (next to cargo lift) including all duct and piping, etc. and all associated works to fit to handover bare shell condition - allow HK\$ 30,000 for provisional sum</p> <p>C) To dismantle, reinstatement of Fire Services System including modification of sprinkler head, fire hose reel, emergency light, exit sign, etc. and all associated works to fit to handover bare shell condition - allow HK\$ 250,000 for provisional sum</p> <p>D) CAR & ECP insurance</p> <p>E) Night Work and non-office hour work</p> <p>F) To modify and make good all related public area’s facilities and false ceiling which affected by the captioned works and subject to the requirement and approval of BMO and Landlord</p> <p>G) provision of 1 set of hard copy and softcopy of proposal and as-fitted drawings in AutoCAD format for submission</p> <p>(The Contractor shall submit related details, drawings, schedule method statement for approval and coordination with the CIC and its consultant prior to the commencement)</p>	<p>1</p> <p>1</p> <p>1</p> <p>1</p> <p>1</p> <p>1</p> <p>1</p>	<p>Sum</p> <p>Sum</p> <p>Sum</p> <p>Sum</p> <p>Sum</p> <p>Sum</p> <p>Sum</p>	<p>200,000</p> <p>30,000</p> <p>250,000</p> <p></p> <p></p> <p></p> <p></p>

Section 19 – Reinstatement work for existing HQ (Cont'd)

Items	Description	Provisional Quantity	Rate (HK\$)	Amount (HK\$)
19.04	Reinstatement works for existing HQ 15/F and 19/F of Allied Kajima Building, Wanchai. includes as follow: (Final requirement subject to the CIC and its consultant and approval of Allied Kajima Building’ BMO and Landlord prior to commencement. Provisional sum and quantities subject to the final measurement and approval of the CIC and its consultant.)			
	A) To dismantle, reinstatement of P/D system including demolish and cart away all piping, sump tank, control panel, chemical treatment, water quality test certification, etc. and all associated works to fit to handover bare shell condition - allow HK\$ 50,000 for provisional sum	1	Sum	50,000
	B) To dismantle, reinstatement of Lift Lobby including to demolish and cart away fixtures, finishes, fittings, door, etc. and all associated works to fit to handover bare shell condition	1	Sum	
	C) All charges levied by local authority and BMO	1	Sum	
	D) CAR & ECP insurance	1	Sum	
	E) Night Work and non-office hour work	1	Sum	
	F) To modify and make good all related public area’s facilities and false ceiling which affected by the captioned works and subject to the requirement and approval of BMO and Landlord	1	Sum	
	G) provision of 1 set of hard copy and softcopy of proposal and as-fitted drawings in AutoCAD format for submission	1	Sum	
	(The Contractor shall submit related details, drawings, schedule and method statement for approval and coordination with the CIC and its consultant prior to the commencement)			
Section 19 - Total :				

Notes: 19.1 Refer to Drawing no. 15-EX-01, 15-EX-02, 15-LP-01, 15-LP-02, 15-LP-03, 15-LP-04, 19-EX-01, 19-EX-02, 19-LP-01, 19-LP-02, 19-LP-03, 19-LP-04 and Annex 4 of Assignment Brief for reference only.

Provisional sum and quantities subject to the final measurement and approval of the CIC and its consultant. Any addition and deduction in the total sum will be based on the rate as quoted

Assignment Brief
Renovation Works of New Headquarters
for Construction Industry Council

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 Annexes:	
Annex 1 – Specifications	AB-104
Annex 2 – Tender Drawing	AB-105-107
Annex 3 – Fitout Guideline	12 pages
Annex 4 – Allied Kajima Building Fitting-out Procedure	19 pages
Annex 5 – Building Services Installation in Compliance with Building Energy Code 2015	5 pages

Annex 2 – TENDER DRAWING

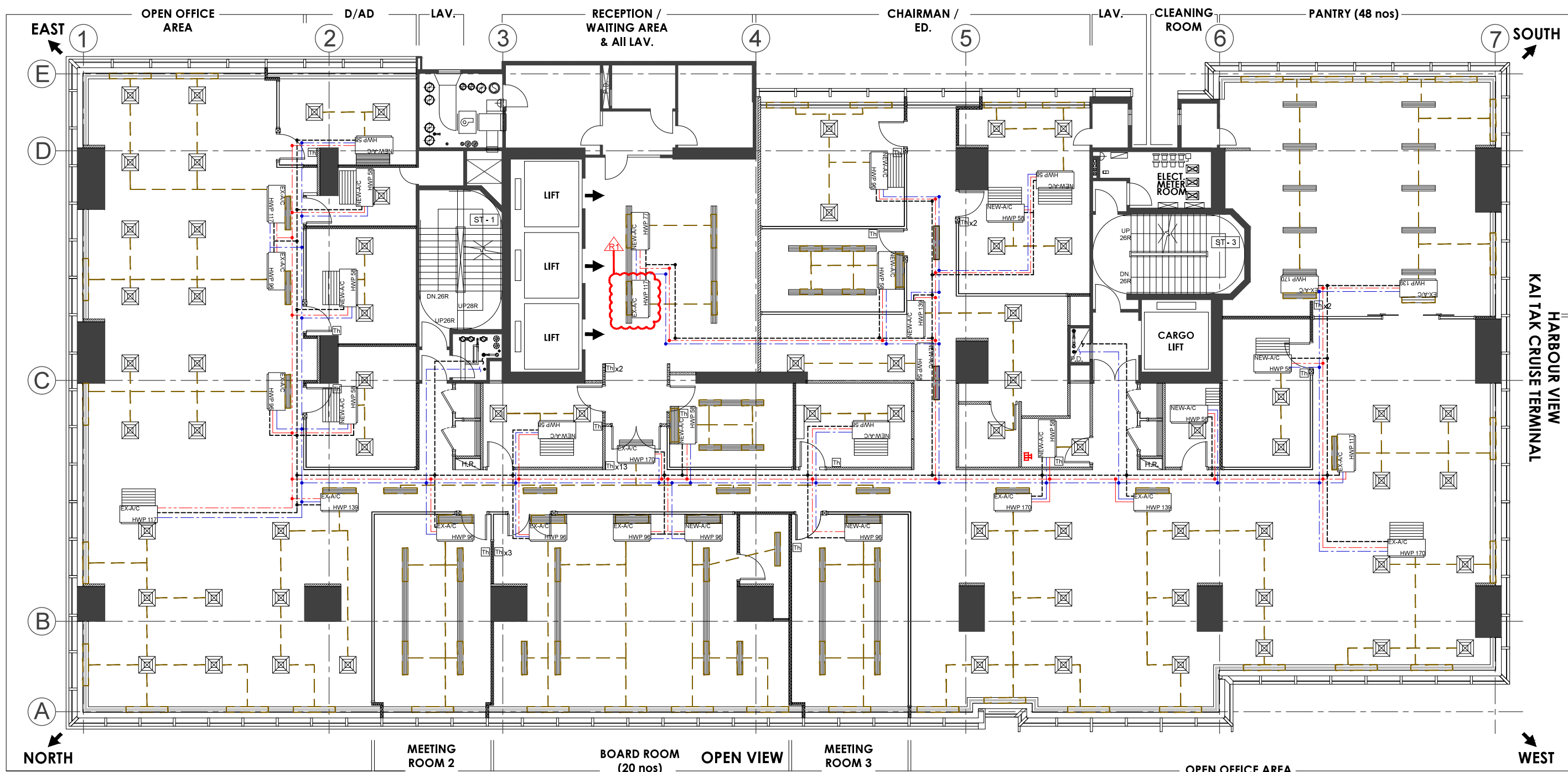
Ref. No.	Paper Size & Scale	Description
DL-01-R1	A3 /As Shown	Drawing List
38-MW-01	A3 /1:150	Modification Work To Fit New Layout (Layout Plan)
38-MW-02	A3 /1:150	Modification Work To Fit New Layout (Ceiling Plan)
38-LP-01	A3 /1:150	Layout Plan
38-CP-01	A3 /1:150	Ceiling Plan
38-AC-01-R1	A3 /1:150	HVAC Plan
38-EP-01	A3 /1:150	Electrical Plan
38-EP-02	A3 /1:150	Electrical Routing Plan (Layout Plan)
38-EP-03	A3 /1:150	Electrical Routing Plan (Ceiling Plan)
38-EP-04	A3 /As Shown	Electrical Schematic Wiring Diagram
38-PD-01	A3 /1:150	Plumbing & Drainage Plan
38-FP-01	A3 /1:150	Partition And Finishes Plan
38-FP-02	A3 /As Shown	Partition And Finishes Colour Plan
38-SP-01	A3 /As Shown	Curtain Shading System Plan – Roller Blind
38-SP-02	A3 /As Shown	Quantum System – Material List
38-SP-03	A3 /As Shown	Lighting Control – System Plan
38-SP-04	A3 /As Shown	Lighting Control – System Plan (Diagram)
38-SP-05	A3 /As Shown	CCTV and Security System Plan
38-E-01	A3 / 1:50	Elevation – Reception
38-E-02	A3 / 1:50	Elevation – Reception
38-E-03	A3 / 1:50	Elevation – General Office
38-E-04	A3 / 1:50	Elevation – General Office
38-E-05	A3 / 1:50	Elevation – General Office
38-E-06	A3 / 1:50	Elevation – General Office
38-E-07	A3 / 1:50	Elevation – General Office
38-E-08	A3 / 1:50	Elevation – General Office
38-E-09	A3 / 1:50	Elevation – General Office
38-E-10	A3 / 1:50	Elevation – General Office
38-E-11	A3 / 1:50	Elevation – Board Room
38-E-12	A3 / 1:50	Elevation – Board Room
38-E-13	A3 / 1:50	Elevation – Typical Meeting Room 2
38-E-14	A3 / 1:50	Elevation – Typical Meeting Room 2
38-E-15	A3 / 1:50	Elevation – Pantry

Annex 2 - TENDER DRAWING (Cont'd)

Ref. No.	Paper Size & Scale	Description
38-E-16	A3 / 1:50	Elevation – Pantry
38-E-17	A3 / 1:50	Elevation – Chairman Room
38-E-18	A3 / 1:50	Elevation – Chairman Room
38-E-19	A3 / 1:50	Elevation – ED Room
38-E-20	A3 / 1:50	Elevation – ED Room
38-E-21	A3 / 1:50	Elevation – Typical Machine Room
38-E-22	A3 / 1:50	Elevation – Female Lav.
38-E-23	A3 / 1:50	Elevation – Male Lav.
39-MW-01	A3 /1:150	Modification Work To Fit New Layout (Layout Plan)
39-MW-02	A3 /1:150	Modification Work To Fit New Layout (Ceiling Plan)
39-LP-01	A3 /1:150	Layout Plan
39-CP-01	A3 /1:150	Ceiling Plan
39-AC-01	A3 /1:150	HVAC Plan
39-EP-01	A3 /1:150	Electrical Plan
39-EP-02	A3 /1:150	Electrical Routing Plan (Layout Plan)
39-EP-03	A3 /1:150	Electrical Routing Plan (Ceiling Plan)
39-EP-04	A3 /As Shown	Electrical Schematic Wiring Diagram
39-PD-01	A3 /1:150	Plumbing & Drainage Plan
39-FP-01	A3 /1:150	Partition And Finishes Plan
39-FP-02	A3 /As Shown	Partition And Finishes Colour Plan
39-SP-01	A3 /As Shown	Curtain Shading System Plan – Roller Blind
39-SP-02	A3 /As Shown	Quantum System – Material List
39-SP-03	A3 /As Shown	Lighting Control – System Plan
39-SP-04	A3 /As Shown	Lighting Control – System Plan (Diagram)
39-SP-05	A3 /As Shown	CCTV and Security System Plan
39-E-01	A3 / 1:50	Elevation – Service Counter
39-E-02	A3 / 1:50	Elevation – Open Office
39-E-03	A3 / 1:50	Elevation – Meeting Room
39-E-04	A3 / 1:50	Elevation – Pantry
D-01	A3 / As Shown	Details – Wall Section
D-02	A3 / As Shown	Details – Wall Section
D-03	A3 / As Shown	Details – Trunking Underneath Raised Floor
D-04	A3 / As Shown	Details – 38/F Reception Counter

Annex 2 - TENDER DRAWING (Cont'd)

Ref. No.	Paper Size & Scale	Description
D-05	A3 / As Shown	Details – 38/F Reception Counter
D-06	A3 / As Shown	Details – 39/F Service Counter
D-07	A3 / As Shown	Details – 39/F Low Cabinet
D-08	A3 / As Shown	Details – 39/F Low Cabinet with Drop In Box and Brochure
D-09	A3 / As Shown	Details – 38/F Board Room Sofa Set
D-10	A3 / As Shown	Details – 38/F -39/F Board Room & Meeting Room White Board
D-11	A3 / As Shown	Details – 38/F – 39/F Machine Room Cabinet Section
D-12	A3 / As Shown	Details – 38/F Pantry Cabinet Section
D-13	A3 / As Shown	Details – 38/F Pantry Island Counter
D-14	A3 / As Shown	Details – 39/F Pantry Cabinet Section
D-15	A3 / As Shown	Details – 38/F Pantry Sofa Set
D-16	A3 / As Shown	Details – 38/F – 39/F Lav. Basin Cabinet Section
D-17	A3 / As Shown	Details – 38/F – 39/F Lav. Toilet Cubical
D-18	A3 / As Shown	Details – 38/F – 39/F Pantry Ceiling
D-19	A3 / As Shown	Details – 38/F – 39/F Typical Alum. Acoustic Ceiling Tile
D-20	A3 / As Shown	Details – System Furniture Plan for New HQ
D-21	A3 / As Shown	Details – System Furniture Plan for New HQ
D-22	A3 / As Shown	Details – System Furniture Existing HQ 15/F
D-23	A3 / As Shown	Details – System Furniture Existing HQ 19/F
15-EX-01	A3 /1:150	Existing Plan (Bare Shell) 15/F
15-EX-02	A3 /1:150	Existing Ceiling Plan (Bare Shell) 15/F
15-LP-01	A3 /1:150	Layout Plan 15/F
15-LP-02	A3 /1:150	Ceiling Plan (AC & Fire Service) 15/F
15-LP-03	A3 /1:150	Electrical Plan 15/F
15-LP-04	A3 /1:150	Plumbing & Drainage Plan 15/F
19-EX-01	A3 /1:100	Existing Plan (Bare Shell) 19/F
19-EX-02	A3 /1:100	Existing Ceiling Plan (Bare Shell) 19/F
19-LP-01	A3 /1:100	Layout Plan 19/F
19-LP-02	A3 /1:100	Ceiling Plan (AC & Fire Service) 19/F
19-LP-03	A3 /1:100	Electrical Plan 19/F
19-LP-04	A3 /1:100	Plumbing & Drainage Plan 19/F



HARBOUR VIEW
KAI TAK CRUISE TERMINAL

1 38/F - HVAC PLAN
1:150

Confirmed by
CONSTRUCTION INDUSTRY COUNCIL :

Date: _____

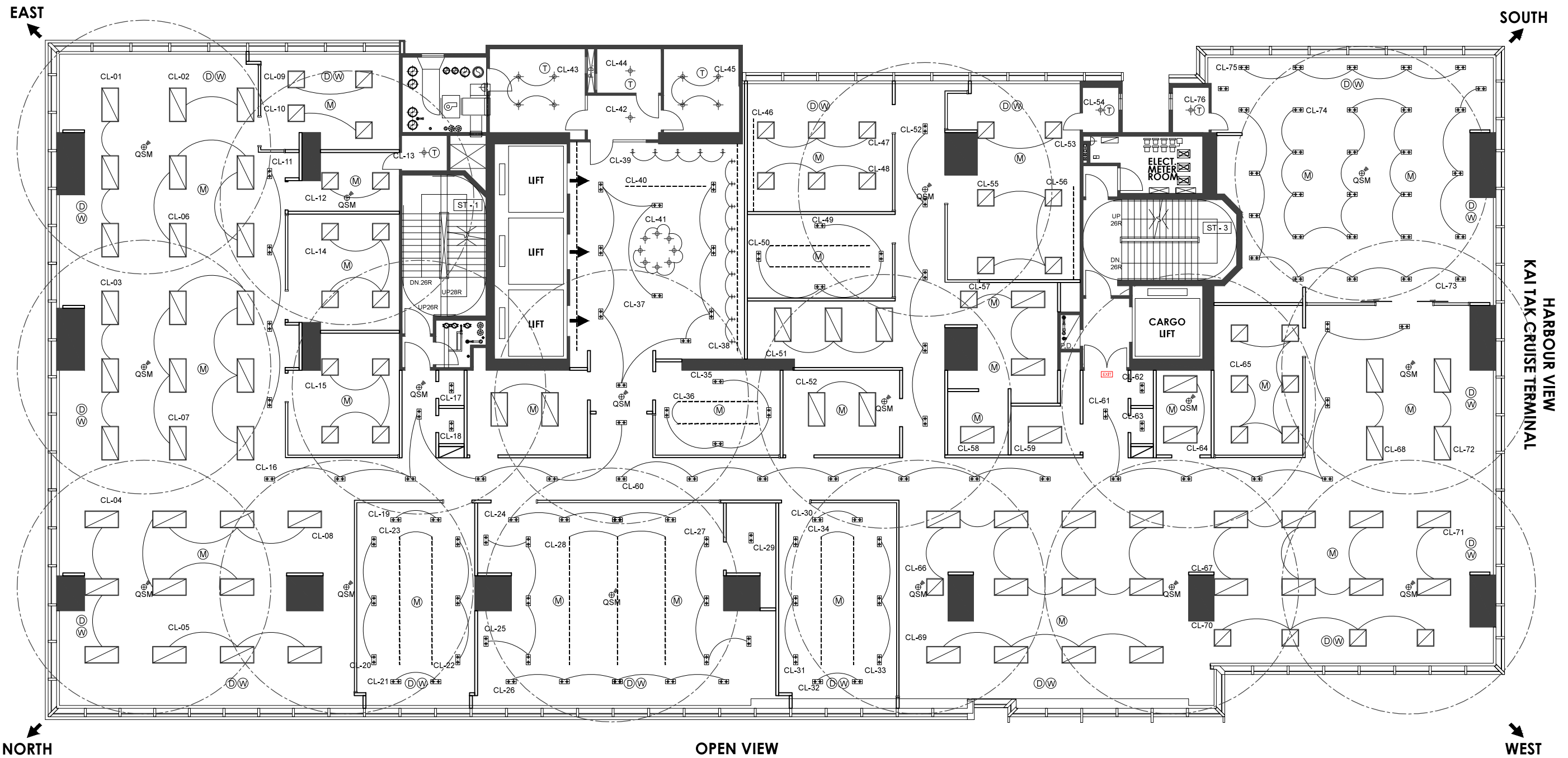
Remarks :
 - HVAC layout (proposed outdoor cooling tower location) for reference only.
 - Contractor shall submit HVAC system proposal which including shop drawings and routing all related details, brand for client and designer's approval prior to commencement of works.
 - Contractor shall submit sample of finishes and shop drawing for approval prior to any commencement or manufacturing of works.

SUMMARY				
38/F - WATER COOLED PACKAGED A/C UNIT				
MODEL	SIZE	EX.QTY	NEW.QTY	
HWP - 170	1505(W) x 506(H) x 700(D)	4	--	
HWP - 139	1300(W) x 506(H) x 700(D)	3	1	
HWP - 117	1160(W) x 440(H) x 670(D)	4	--	
HWP - 96	1155(W) x 416(H) x 670(D)	5	3	
HWP - 77	1155(W) x 416(H) x 670(D)	--	1	
HWP - 58	1110(W) x 355(H) x 685(D)	--	14	

SYMBOL	DESCRIPTION
	THE EXISTING WATER COOLED PACKAGED A/C UNIT
	THE NEW WATER COOLED PACKAGED A/C UNIT
	WALL MOUNTED WIRED REMOTE CONTROLLER
	IN-LINE DUCT AXIAL VENTILATION FAN
	REFRIGERANT PIPE
	CONDENSATE DRAIN PIPE
	FRESH AIR DUCT
	MAIN VENTILATION CONTROL PANEL

LEGEND	
	EXISTING WALL
	FULL HEIGHT 1HR FRR BLOCK BRICK WALL UP TO TRUE CEILING LEVEL
	±100mm THK DOUBLE LAYER OF 12.5mm THK GYPSUM BOARD PARTITION UP TO TRUE CEILING LEVEL
	±130mm THK DOUBLE LAYER OF 15mm THK GYPSUM BOARD PARTITION UP TO TRUE CEILING LEVEL
	DOUBLE GLAZED SOUND PROOF PARTITION WITH ±130mm THK GYPSUM BOARD PARTITION ABOVE AND UP TO STRUCTURE SLAB
	FULL HEIGHT 1 HR FRR PROMAT PARTITION UP TO TRUE CEILING LEVEL

REVISION AND SUBMISSIONS										PROJECT TITLE:		DRAWING TITLE :		SCALE		DATE	
NO.	DATES:	REMARKS:	NO.	DATES:	REMARKS:	NO.	DATES:	REMARKS:	RENOVATION WORKS OF 38/F & 39/F NEW HEADQUARTERS FOR THE CONSTRUCTION INDUSTRY COUNCIL	HVAC PLAN		pp2 design ltd. interior design + contracting		1:150	06/2016		
1	15-06-2016									PROJECT STAGE		15 b, tak lee comm. bldg, 113-117 wanchi road, wanchai, hk TEL: 2866 8880 FAX: 2861 1616		DRAWN BY	APPROVED BY		
									TENDER DRAWING	PROJECT NO.		ALL DESIGNS, PRINTS & SPECIFICATIONS ARE THE PROPERTY OF PP2 DESIGN LTD. & CANNOT BE USED WITHOUT THEIR WRITTEN PERMISSION.		HY	PW		
									38/F NHQ	(267) in P / AE / PUR / AGC		THE SAME SHALL BE RETURNED AT COMPLETION OF THE WORK DO NOT SCALE DRAWING ALL MEASUREMENTS MUST BE CHECKED AT THE SITE BY THE CONTRACTOR		DWG NO.	REV.		
														38-AC-01	R1		
														NOTE.	DRAWING IN A3 PAPER SIZE		



1 38/F - LIGHTING CONTROL - SYSTEM PLAN
N.T.S.

Confirmed by
CONSTRUCTION INDUSTRY COUNCIL :

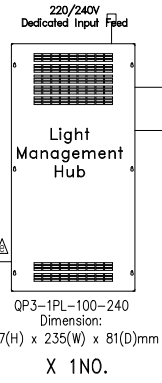
Date: _____

Remarks : Contractor shall submit sample of finishes and shop drawing for approval prior to any commencement or manufacturing of works.

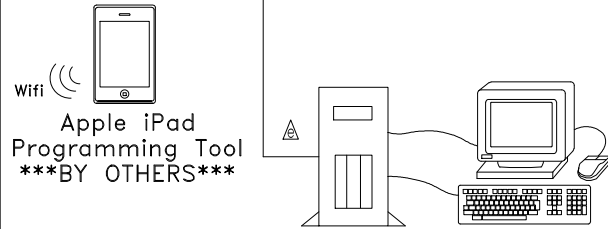
LEGEND	DESCRIPTION
	LIGHT BOX W/ T5 FLUO. TUBE (1200X600)
	LIGHT BOX W/ T5 FLUO. TUBE (600X600)
	LED TWIN DOWN LIGHT
	LED RECESSED ADJUSTABLE SPOT LIGHT
	LED RECESSED DOWN LIGHT
	LED LIGHT STRIP
	LUTRON DAYLIGHT SENSOR
	WINDOW SENSOR
	LUTRON MOTION SENSOR
	LUTRON TRI-PAK

LUTRON
Lutron GL Limited
Unit 2808, 248 Queen's Road East, Wanchai, Hong Kong
Tel: (852) 2104 7733 | Fax: (852) 2104 7633

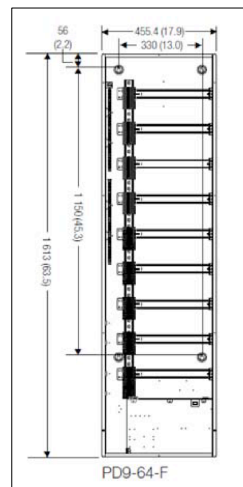
REVISION AND SUBMISSIONS									PROJECT TITLE:	DRAWING TITLE :	p p 2 design ltd. interior design + contracting 15 b, tak lee comm. bldg, 113-117 wanchi road, wanchai, hk TEL: 2866 8880 FAX: 2861 1616	SCALE	DATE
NO:	DATES:	REMARKS:	NO:	DATES:	REMARKS:	NO:	DATES:	REMARKS:	RENOVATION WORKS OF 38/F & 39/F NEW HEADQUARTERS FOR THE CONSTRUCTION INDUSTRY COUNCIL	LIGHTING CONTROL - SYSTEM PLAN		As Shown	06/2016
									PROJECT STAGE	PROJECT NO.	DRAWN BY	APPROVED BY	
									TENDER DRAWING	(267) in P / AE / PUR / AGC	HY	PW	
									38/F NHQ		DWG NO.	REV.	
											38-SP-03		
											NOTE:		
											DRAWING IN A3 PAPER SIZE		



Client's Quantum Local Area Network:
Shared Internet
& Corporate Wireless Network



▽ 38F

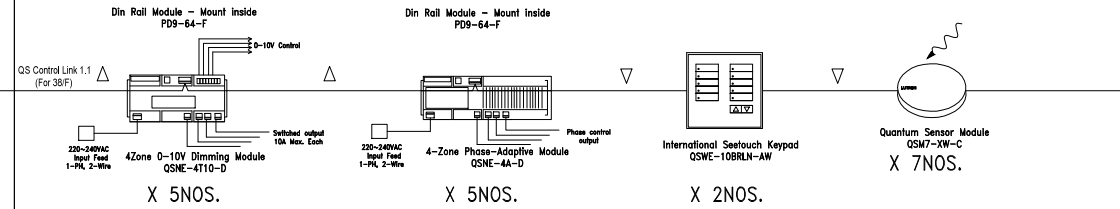
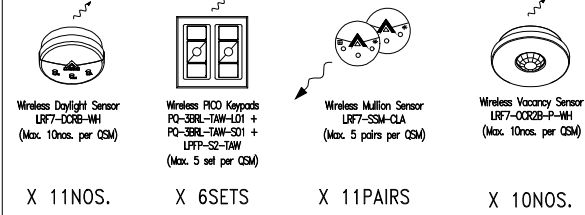


Panel for Din-Rail Lighting Control Modules
(Max. 9nos. Modules)

38/F X 2NOS.

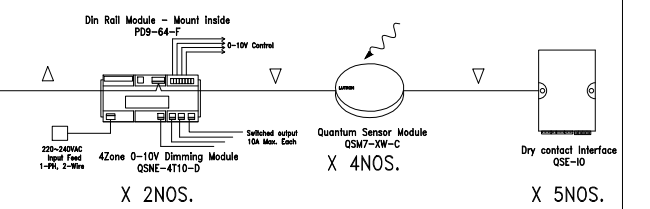
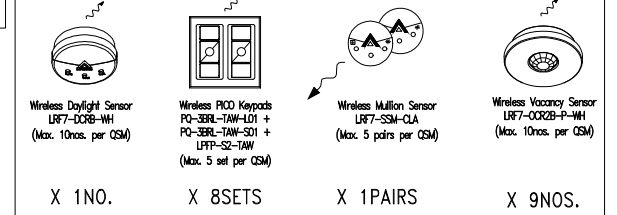
Open Office Area, Reception, Corridor, Pantry -
Control by timeclock with time extension via PICO

Wireless Devices



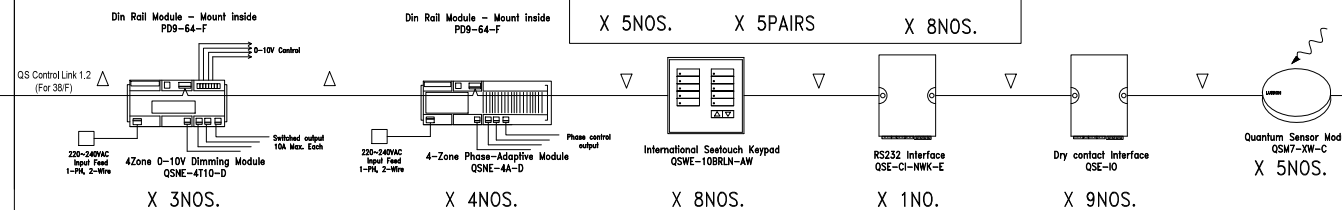
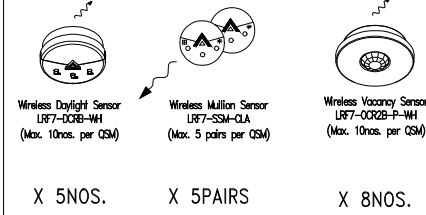
D/ADx4, Machine Rm x4 Mail Rm x1,
SEC Rm x2, Control by Wireless
Motion Sensor and PICO

Wireless Devices

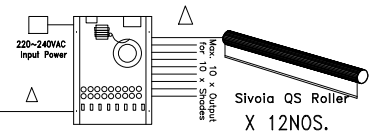


Meeting Room x4, Board Room x1, Chairman x1, ED x1 -
Control by Scene setting

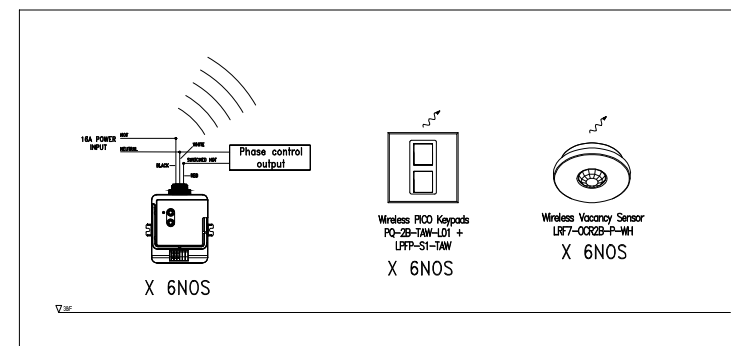
Wireless Devices



Shades



LAV x6 - Control by Motion Sensor via PICO (Individual)



Remarks :

- 1) Contractor shall submit sample of finishes and shop drawing for approval prior to any commencement or manufacturing of works.
- 2) The attached drawing is solely a single line diagram to show the number of system components. As fitted drawing will be provided before order.

LUTRON

Lutron GL Limited
Unit 2808, 248 Queen's Road East, Wanchai, Hong Kong
Tel: (852) 2104 7733 | Fax: (852) 2104 7633

Confirmed by
CONSTRUCTION INDUSTRY COUNCIL :

Date: _____

REVISION AND SUBMISSIONS						PROJECT TITLE:			DRAWING TITLE :		SCALE		DATE
NO:	DATES:	REMARKS:	NO:	DATES:	REMARKS:	RENOVATION WORKS OF 38/F & 39/F NEW HEADQUARTERS FOR THE CONSTRUCTION INDUSTRY COUNCIL			LIGHTING CONTROL - SYSTEM PLAN (DIAGRAM)		As Shown	06/2016	
						PROJECT STAGE			PROJECT NO.		DRAWN BY	APPROVED BY	
						TENDER DRAWING			(267) in P / AE / PUR / AGC		HY	PW	
						38/F NHQ					DWG NO.	REV.	
											38-SP-04		
											NOTE.		
											DRAWING IN A3 PAPER SIZE		

pp2 design ltd.

interior design + contracting

15 b, tak lee comm. bldg, 113-117 wanchi road, wanchai, hk
TEL: 2866 8880 FAX: 2861 1616

ALL DESIGNS, PRINTS & SPECIFICATIONS ARE
THE PROPERTY OF PP2 DESIGN LTD. & CANNOT
BE USED WITHOUT THEIR WRITTEN PERMISSION.

THE SAME SHALL BE RETURNED AT COMPLETION
OF THE WORK DO NOT SCALE DRAWING ALL
MEASUREMENTS MUST BE CHECKED AT THE SITE
BY THE CONTRACTOR



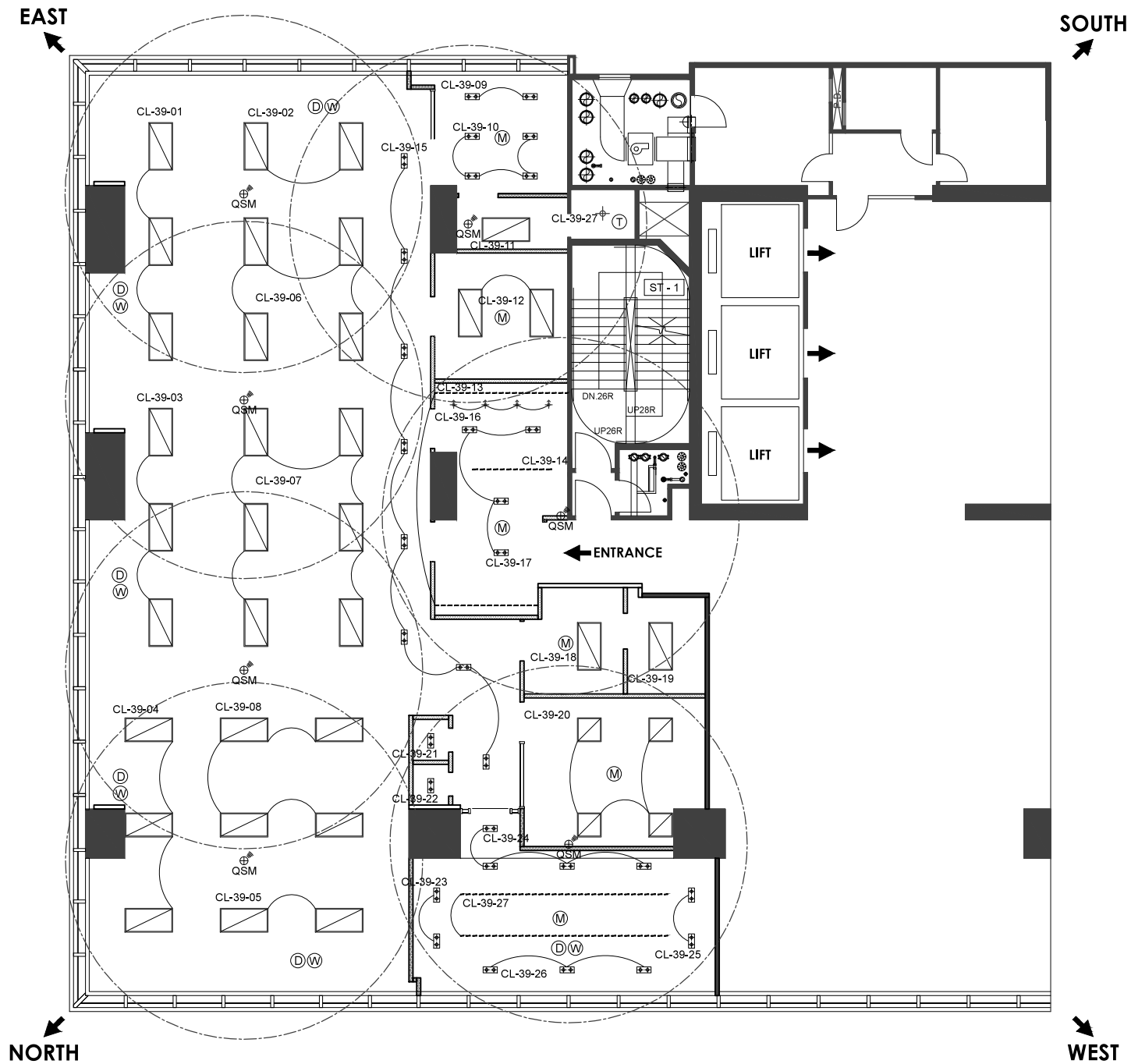
Confirmed by
CONSTRUCTION INDUSTRY COUNCIL :

Date: _____

1 38/F - CCTV AND SECURITY SYSTEM PLAN
N.T.S.

Remarks : Contractor shall submit sample of finishes and shop drawing for approval prior to any commencement or manufacturing of works.

REVISION AND SUBMISSIONS									PROJECT TITLE:		DRAWING TITLE :		SCALE		DATE	
NO:	DATES:	REMARKS:	NO:	DATES:	REMARKS:	NO:	DATES:	REMARKS:	RENOVATION WORKS OF 38/F & 39/F NEW HEADQUARTERS FOR THE CONSTRUCTION INDUSTRY COUNCIL	CCTV AND SECURITY SYSTEM PLAN	p p 2 design ltd. interior design + contracting 15 b, tak lee comm. bldg, 113-117 wanchi road, wanchai, hk TEL: 2866 8880 FAX: 2861 1616		As Shown	06/2016		
									PROJECT STAGE	PROJECT NO.	ALL DESIGNS, PRINTS & SPECIFICATIONS ARE THE PROPERTY OF PP2 DESIGN LTD. & CANNOT BE USED WITHOUT THEIR WRITTEN PERMISSION.		DRAWN BY	APPROVED BY		
									TENDER DRAWING	(267) in P / AE / PUR / AGC	THE SAME SHALL BE RETURNED AT COMPLETION OF THE WORK DO NOT SCALE DRAWING ALL MEASUREMENTS MUST BE CHECKED AT THE SITE BY THE CONTRACTOR		HY	PW		
									38/F NHQ		NOTE.		DWG NO.	REV.		
											DRAWING IN A3 PAPER SIZE		38-SP-05			



1 39/F - LIGHTING CONTROL - SYSTEM PLAN
N.T.S.

LEGEND	DESCRIPTION
	LIGHT BOX W/ T5 FLUO. TUBE (1200X600)
	LIGHT BOX W/ T5 FLUO. TUBE (600X600)
	LED TWIN DOWN LIGHT
	LED RECESSED ADJUSTABLE SPOT LIGHT
	LED RECESSED DOWN LIGHT
	LED LIGHT STRIP
	LUTRON DAYLIGHT SENSOR
	WINDOW SENSOR
	LUTRON MOTION SENSOR
	LUTRON TRI-PAK

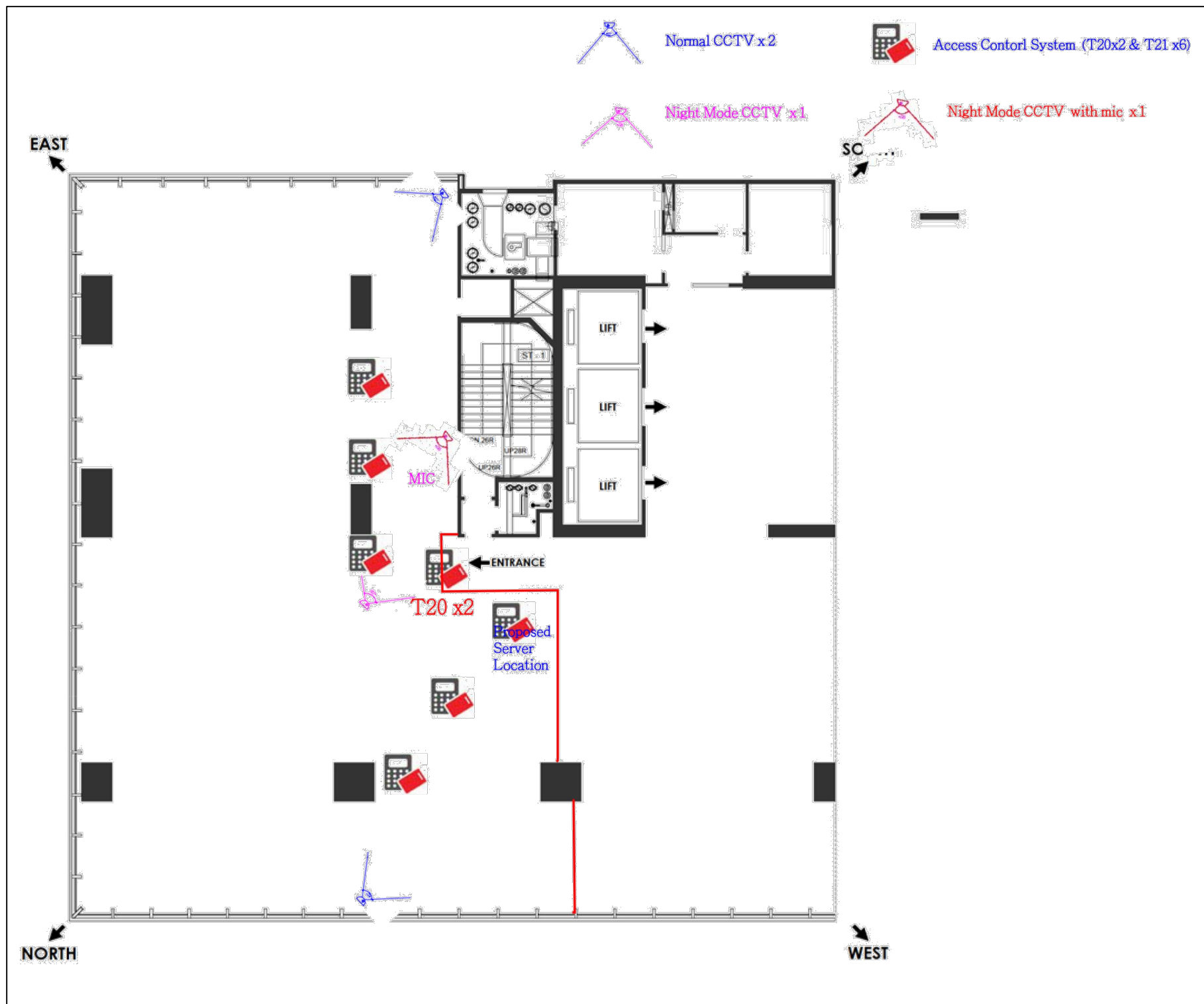


Confirmed by
CONSTRUCTION INDUSTRY COUNCIL :

Date: _____

Remarks : Contractor shall submit sample of finishes and shop drawing for approval prior to any commencement or manufacturing of works.

REVISION AND SUBMISSIONS										PROJECT TITLE:		DRAWING TITLE :		SCALE		DATE	
NO:	DATES:	REMARKS:	NO:	DATES:	REMARKS:	NO:	DATES:	REMARKS:									
									RENOVATION WORKS OF 38/F & 39/F NEW HEADQUARTERS FOR THE CONSTRUCTION INDUSTRY COUNCIL	LIGHTING CONTROL - SYSTEM PLAN	p p 2 design ltd. interior design + contracting 15 b, tak lee comm. bldg, 113-117 wanchi road, wanchai, hk TEL: 2866 8890 FAX: 2861 1616		As Shown	06/2016			
									PROJECT STAGE	PROJECT NO.	ALL DESIGNS, PRINTS & SPECIFICATIONS ARE THE PROPERTY OF PP2 DESIGN LTD. & CANNOT BE USED WITHOUT THEIR WRITTEN PERMISSION.		DRAWN BY	APPROVED BY			
									TENDER DRAWING	(267) in P / AE / PUR / AGC	THE SAME SHALL BE RETURNED AT COMPLETION OF THE WORK DO NOT SCALE DRAWING ALL MEASUREMENTS MUST BE CHECKED AT THE SITE BY THE CONTRACTOR		HY	PW			
									39/F NHQ		NOTE: DRAWING IN A3 PAPER SIZE		DWG NO.	REV.			
													39-SP-03				



Confirmed by
CONSTRUCTION INDUSTRY COUNCIL :

Date: _____

1 39/F - CCTV AND SECURITY SYSTEM PLAN
N.T.S.

Remarks : Contractor shall submit sample of finishes and shop drawing for approval prior to any commencement or manufacturing of works.

REVISION AND SUBMISSIONS									PROJECT TITLE:	DRAWING TITLE :	<p>pp2 design ltd. interior design + contracting 15 b, tak lee comm. bldg, 113-117 wanchi road, wanchai, hk TEL: 2866 8880 FAX: 2861 1616</p>	SCALE	DATE
NO:	DATES:	REMARKS:	NO:	DATES:	REMARKS:	NO:	DATES:	REMARKS:	RENOVATION WORKS OF 38/F & 39/F NEW HEADQUARTERS FOR THE CONSTRUCTION INDUSTRY COUNCIL	CCTV AND SECURITY SYSTEM PLAN		As Shown	06/2016
									PROJECT STAGE	PROJECT NO.	DRAWN BY	APPROVED BY	
									TENDER DRAWING	(267) in P / AE / PUR / AGC	HY	PW	
									39/F NHQ		DWG NO.	REV.	
											39-SP-05		
											NOTE:		
											DRAWING IN A3 PAPER SIZE		

FITTING-OUT PROCEDURE

Allied Kajima Building
138 Gloucester Road Wanchai Hong Kong

- 1.0 SUBMISSIONS** Six (6) copies of the Tenant's drawings described below must be submitted to the Building Manager for review and for checking by the Landlord and the Landlord's Consultants.
- 1.1** All drawings must be to metric scale of not less than 1:100 and drawings must be clearly titled and include drawings numbers, dates revision numbers and a stated scale. Revisions should highlight the features being altered.
- 1.2** The drawings and submissions must include, as a minimum, the following information:-
- 1.2a** Floor plan showing partition
The plans should show clearly:-
- general internal layout
 - internal partitions or walls up to false ceiling and/or up to the structural ceiling, in general, partitions should not be built above false ceiling level
 - additional toilet and pantry facilities, if any
 - location of any safes or heavy equipment which has a heavy imposed load
 - area of raised flooring for computer installation or the like, if any
- 1.2b** Ceiling plan
The plans should show clearly:-
- details of works inside the ceiling void
 - existing location of light fittings
 - if proposing to change the location, the new location of the light fittings and any additional light fittings
 - proposed modification and addition to main ceiling cable trunking system, main ducting for A.C. supply, etc
 - location of the thermostat control units and any proposed relocation
 - existing layout of fire services sprinklers and proposed modifications
 - a schedule on voltage, type wattage, quantity and location of light fittings and air fittings
- 1.2c** Fire Services layout plan
The plan should show clearly the following all in accordance with F.O.C. rules and F.S.D. requirements
- the main/branches/range pipe sizes
 - location of all existing sprinkler heads
 - proposed relocation of existing sprinkler heads
 - location of new additional sprinkler heads
 - BTM system schematic and its layout arrangement, if any
 - location and arrangement of smoke detection system, if any
 - location of existing HR/FH and proposed relocation, if any

- 1.2d** Air-conditioning layout plans
The plans should show clearly the following:-
- the changes to the existing installation
 - proposed new venting of VAV terminal box, chilled water pipes, fresh air duct and condensation pipes due to the change of existing installations
 - technical data to substantiate the sizing of air ducts and pipes
 - equipment schedule of the VAV terminal box, additional fan coil units, tee-off valves, etc
 - location of thermostats
 - location of access panels
 - proposed additional A.C. equipment
- 1.2e** Electrical Layout Plan
For all cases of work including the location of all sockets, switches, MCB and telephone points, the plans should show clearly the following:-
- rating, type and locations of the main distribution board and any local switch board
 - overall electrical schematic wiring diagram complete with load data
 - electrical maximum demand calculation of Tenant's proposed rating exceeds Landlord's provision
 - lighting and power socket circulating arrangement details
 - proposed conduit runs/trunking routing and their sizes to each lighting and power point
 - details of electrical circuit of their own emergency power system, if any, and their connected load data
- 1.2f** Plumbing and Drainage main
The plan should show clearly:-
- location of proposed W.C., basin, sink, etc
 - proposed plumbing & drainage connection point with preferred pipe diameters
 - proposed pipe routing
- 1.2g** Power, telephone, data, floor and partition outlets, the main switchboard, MCB and light switch positions must be indicated on an electrical plan. All electrical installations shall be installed in accordance with the latest edition of I.E.E. regulation, the supply rules of the Hongkong Electric Co., Ltd. and approval from that company should be obtained. All concealed wiring is to be enclosed in galvanized steel conduit. Structural walls, inter-tenancy partition walls, beams, columns, ceiling and floor shall not be chased to accommodate any wirings whether concealed in conduit or not.
- 1.2h** Detailed layouts for special items including vaults, file rooms, computer areas, pantries, inter-floor stairs, etc should be submitted together with full information of loading, pipe sizing, etc.

- 1.2i Details of proposed Tenant's signage and front entrance door designs are required. All glazed doors should be of tempered glass and designed to open inwards only. All doors to Tenant's premises will be at the Tenant's account.
- 1.2j Details of all heat-generating equipment i.e. office equipment, data processing equipment, computers, copying machines, etc as well as any particular cooling requirements, must be submitted for approval.
- 1.2k Layouts requiring revisions to the original building installation or its services must also be checked and approved by the Landlord's Consultants.
- 1.2l Fitting-out questionnaire (Appendix I)
- 1.2m Directory order form (Appendix II)
- 1.3 The Landlord shall be entitled to a period of 21 days in which to review and approve Tenant's fitting-out proposals.
- 1.4 Consultants authorized by the Landlord will be appointed at the Tenant's cost to design and prepare working drawings for all modifications that require revisions to the original building construction and services in accordance with the Tenant's layouts and fitting-out requirements.
- 1.5 Tenants must note that no alteration to the fire protection installation may proceed without:
 - 1.5a — the Landlord's written approval,
 - 1.5b — the Fire Services Department's written approval where appropriate
- 1.6 Tenants are advised that the review of a Tenant's design by the Landlord or its Consultants is made only on the base that such proposals do not affect the overall design criteria or the efficient running of the building and its services. The approval of plans does not in any way imply the Landlord's endorsement of the layouts proposed by the Tenant and should not be construed as confirmation that the Tenant's proposals are in themselves correct and efficient insofar as the Tenant's own requirements are concerned.
- 1.7 Tenant should ensure that the **necessary** for their installations and designs to comply with all statutory requirements of the Buildings and Lands Department, Fire Services Department and Utilities Companies. Any part of the works which fails to comply may need to be adjusted or replaced at Tenant's cost.

Generally, in designing, the Tenant should try to avoid conflicts with the location of services provided by the Landlord in the premises. **THE COST OF EACH RELOCATION OR ALTERATION IS TO TENANT'S ACCOUNT.**

- 1.8 The landlord has made plumbing and drainage provisions for the installation by Tenants of Wet pantry units on each floor. Pantries will not be permitted in locations other than these designated areas, details of which are available from the Landlord. All plumbing and drainage work in this respect will have to be carried out by the Landlord's Nominated Contractor. Drawings showing the position of control valves and material to be used must be submitted for consideration and approval prior to installation. If the proposal requires the Tenant making a connection from or to the Landlord's water supplies or drainage services, the Tenant shall be responsible for all maintenance, repair, removal, renewal and replacement of such pipes from the point of connection fitting on the Landlord's vertical riser. Where a connection to the mains plumbing or drainage system has been made, the Tenant will have to indemnify the Landlord against any claim which may occur as a result of that service. Furthermore the installation of a pantry shall be subject to the following conditions:
- 1.8a — In the pantry area, no connection will be allowed to the underfloor trunking. Electrical power for pantry use should be made available from a part of the trunking system located outside the designated pantry.
 - 1.8b — Cooking food within the pantry area will not be permitted. Use of a domestic type microwave oven will be permitted to warm precooked food, however, providing it is the type which does have a convection oven capability.
- 1.9 Whenever the Tenant's proposal requires that works will be undertaken in the Landlord's service ducts, the Tenant shall provide and install good and substantial protective structures to prevent any materials, debris and the like causing damage to any part of the Landlord's installation.
- 1.10 Before any works are undertaken and at all times during the working process, the Tenant shall provide and maintain a minimum of five (5) hand-held universal fire extinguishers in the vicinity of the work. Such fire extinguishers are to be provided at the Tenant's expense.
- 1.11 All the works as proposed in the Tenant's drawings and mentioned above have to be carried out to the Landlord's satisfaction and the Tenant will, in this connection, keep the Landlord informed of the actual working dates.
- 1.12 Prior to the commencement of any works a list of all personnel to be engaged on the works is to be deposited in the Building Management Office. Such a list shall contain the names, addresses and Hong Kong Identity Card numbers of all personnel so engaged.
- 1.13 Implementation of the Tenant's proposals, in whole or in part, is deemed to be acceptance of these terms and conditions.

2.0 TENANTS WORK

All works of fitting-out, including alterations or addition to the Landlord's finishes or services within the Premises are to be effected by the Tenant. These include:-

2.0a — Electrical wiring and socket outlet, switching etc. within the Premises including all necessary conduits and trunking and MCB board

Note: All supply cables from the meter room to main switch board inside tenant premise to be installed by the Landlord's nominated contractor at Tenant's cost

2.0b* — Alteration or addition to air-conditioning system, if any, to suit the Tenant's layout, OR in case if the Tenant is required to install the VAV terminal box, additional fancoil units, chilled water pipes, condensation water pipes, etc.

2.0c — Additional wall coverings or painting

2.0d — Additional floor finish and coverings

2.0e — Partition/walls if required

2.0f* — Drainage provisions/water supply where permitted

2.0g* — Alteration or addition to fire services installation to suit the Tenant's layout

2.0h — Approved alterations to any provision or service by the Landlord

2.0i — Supply and installation of telecommunication services

2.0j — Trade fittings, fixtures and furnishings

(* These works are to be carried out by the Landlord's nominated contractors)

3.0 STRUCTURAL

Inter-floor staircases will be considered in the ALTERATIONS preferred locations indicated on drawings which are available from the Landlord on request. Any submissions to relevant Government Departments relating to the interfloor stairs will have to be made by the Landlord's approved Authorized Person. The installation of Tenant's staircases obviously disrupts the building structure and services and all costs for this work will be to the Tenant's account.

3.1 Any penetration of the Floor slabs for Tenant's services between adjoining floors will be permitted only after details have been approved by the Landlord's Consultants. All cost for this work will be to the Tenant's account. In case of unapproved penetration or chasing remedial work will have to be carried out at Tenant's expense.

3.2 **Structural and core walls**

No work, including chasing forming openings, etc. is permitted to the structural walls, columns and floors and the Tenant will be liable to reinstate all damages. If any such contravention is noted, the Building Manager may stop all fit-out works until full assessment of the damages is carried out.

4.0 **COSTS**

All works that are required by the Tenant for structural alterations and/or additions to the standard air-conditioning, plumbing and drainage, electrical, building automation and fire services installation of the building to suit the Tenant's layout requirements shall be carried out by the Landlord's Nominated Contractors at the Tenant's expense. 10% handling fee on the Landlord's Nominated Contractors costs will be charged in respect of the involvement for the vet and approval of Tenant's fitting-out plans, and co-ordination with the Landlord's Nominated Contractors for any alteration and/or additional Contractors for any alteration and/or additional works required.

4.1 The Tenant will be required to pay a fitting-out deposit to the Building Manager of the cost \$2.00/s.f. (minimum charge \$10,000.00) prior to the commencement of fitting-out work. This deposit will be refunded to tenant upon the completion of work. The Tenant will not be entitled to any interest payments in respect of this deposit.

4.2 The Tenant will be required to pay with the Building Manager of the following cost for the arrangement of temporary power supply and debris removal:

— Temporary power supply:
Installation fee (30Amp single phase) : \$1,500.00 / job
Power consumption rate: \$75/day

— Cleaning Charges: \$50/day

4.3 The office directory strip shall be installed by the Building Manager at the Tenant's expenses.

4.4 Working permit will be issued to the Tenant's contractors free of charge. However, a penalty charge of \$100/permit will be deducted from the fitting-out deposit for lost and/or damage of such permit.

4.5 The Landlord's Nominated Contractors shall furnish the Tenant with quotations for additional/alteration works required within 14 days from the date on which the approval of the Tenant's proposal is granted.

4.6 It should be noted that delays in the submission of plans by the Tenant or delayed submission of quotations by the Nominated Contractors will not give rise to any entitlement to any extension of the rent-free period which might have been given by the Landlord.

4.7

In order to ensure compliances with the original construction specification, the Landlord reserves the right to insist in the use of certain Nominated Contractors as follows:-

	<u>Item</u>	<u>Company</u>	<u>Coordinated</u>	<u>Telephone No.</u>
4.7a	Electrical, Plumbing & Drainage:	Polyking Services Limited ATAL Engineering Limited Kinden Corporation	Mr Marco Wong (Building Services Department)	2519 2833
	Notes:	All supply cables and conduit from the meter room to main switch board inside tenant premises to be installed by the Nominated Contractors		
4.7b	False Ceiling:	Dickson Interior Construction Company Limited Cemac (Hong Kong) Limited		
4.7c	Air Conditioning:	On Year Engineering & Services Ltd. TJ Engineering Services Limited		
4.7d	Chiller Water Treatment	Tin Sing Chemical Engineers Ltd		
4.7e	Fire Services:	Siemens Limited		

5.0 GENERAL CONDITIONS

No works on site can proceed without Landlord's written approval. On the approval of the Tenant's fitting-out plans the general conditions will apply and which may be revised by the Landlord as the situation requires.

- 5.1 The Tenant is fully responsible for the security of the premise once possession has been delivered up by the Landlord. This will be particularly important during the fitting-out period and the Tenant's contractors should be instructed accordingly.
- 5.2 All works must be carried out in strict accordance with the original drawings. Any additional and/or alteration works shall be submitted to the Landlord for separate consideration and approval.
- 5.3 The Tenant will indemnify the Landlord against all claims for damages arising from the execution, the subsequent use and maintenance of the fitting-out works.
- 5.4 All the necessary permissions from relevant Government Departments are to be obtained and that all regulations specified, and in particular, the Fire Services Department, shall be complied with by the Tenant.
- 5.5 The Tenant will, at the Tenant's expense, reinstate the premises to its original condition, unless otherwise required by the Landlord, at the end or sooner determination of the Lease.
- 5.6 The new internal partitions shall be so constructed as for finish below the false ceiling level. Where partitions extend above the false ceiling ventilation grills are required in order to provide sufficient return air passages.
- 5.7 The void above the false ceiling is used as a return air plenum. All materials used at or above the false ceiling level shall be non-combustible and all electrical wiring shall be installed in metal ducting, conduit or trunking.
- 5.8 The signboard, sign, name-plate, decoration, advertising matter or other device whatsoever shall not be affixed or otherwise displayed on or at any part of the common corridor on the sub-divided on or at any part of the common corridor on the sub-divided /sub-let floor. Should the tenant wish to affix or otherwise display the sign or logo etc. on the entrance door(s), the Tenant is required to submit 3 copies of coloured elevation drawing on the proposed design for Landlord's approval before installation of the same.
- 5.9 The proposal for the directory strip must be submitted in accordance with the design supplied by the Landlord. Tenant should complete the attached Directory Order Form(Appendix II) and return to the Building Manager.
- 5.10 The Landlord or its Consultant reserves the right to require the Tenant to make any reasonable alteration as they think fit where it affects the base building systems or structure of the building, even after the completion of the proposed works. Any such requirement must be complied with within one month from the date of written notice.

- 5.11 The Tenant will be responsible for the conditions which result after fitting-out has been completed. The landlord will not be held liable for any deterioration of the environment within the premises as a consequence of the implementation of the Tenant's proposals. The Tenant shall be aware that the environmental conditions in the premises are controlled by the location of thermostats and diffusers and that in order to achieve acceptable conditions, this equipment, including its ducting, may require relocation or modification, the design of which and the required works shall be undertaken at the Tenant's expense.
- 5.12 **No work, including fixing, chasing, painting, etc. is permitted to the glass area or frame of the curtain wall or to the concrete upstand** and Tenant will be liable to reinstate, at Tenant's expense, all damage. If any such contravention is noted, the Building Manager may stop all fit-out works until full assessment of the damage is carried out.
- 5.13 Tenant is prohibited to remove and/or change the vertical blind installed at the interior of the curtain wall. No display of neon sign or illuminated logo, advertisement, etc, will be allowed which can be seen from the face of the curtain wall.
- 5.14 Tenant is required to cover up their glass panels with white paper approved by the Building Manager during the fitting-out period. No adhesive tapes or fixings of any kind will be allowed on the glass area. All doors should be kept close during the fitting-out works.
- 5.15 The Tenant will provide sufficient access to and from the Landlord's equipment in order that regular maintenance and replacement of such equipment can be carried out without detriment to the Tenant's works. In particular the Landlord's equipment in the false ceilings void, pipe ducts, meter rooms and mechanical rooms must be accessible by suitably-sized access panels.
- 5.16 All noisy works and transportation of materials and debris to and from the Tenant's premises will have to be carried out outside normal office hours without any disturbance to other Tenants and will be subject to the Landlord's approval.
- 5.17 All materials and debris are to be kept in the Tenant's premises during the working period without obstructing the public corridors or any part of the public areas. Debris should be removed and disposed by the Tenant in a proper way to the Landlord's satisfaction every evening throughout the working period.
- 5.18 The working process must be confined within the Tenant's premises and no vibration whatsoever shall be transmitted from the Tenant's equipment to the building and its services.
- 5.19 Only the service lift will be used for the transportation of materials and debris. Any damage to the Landlord's property arising from this operation will be made good by the Landlord at the Tenant's expense. In no circumstances shall any passenger lift be used for this purpose.

- 5.20 Any painting work in the Tenant's premises, which in the Landlord's opinion may cause irritation to other Tenants, must be carried out after normal office hours or other hours as specified by the Landlord from time to time.
- 5.21 Any modification to sprinkler heads shall comply with the Fire Code of Practice and be carried out by the Landlord's Nominated Contractor.

FITTING-OUT QUESTIONNAIRE

This Questionnaire must be completed in every respect and returned, by hand, together with marked up plans to:-

Allied Real Estate Agency Limited
28th Floor China Online Centre
333 Lockhart Road
Wanchai
Hong Kong
Attn:

1. Tenant's Name(s):-

2. Tenant's Address for correspondences:-

Telephone No.:

Person in Charge:

3. Allied Kajima Building Unit No.:

4. Name of Tenant's Architect or Interior Designer:-

Name:

Address:

Telephone No.: Office

Person in Charge:

5. Name of Tenant's Fit-Out Contractor:-

Name:

Address:

Telephone No: Office

Person in Charge:

DIRECTORY ORDER FORM

To : _____

From : _____

Unit/Shop No. _____ Floor _____

We wish to put up our company name which is as the same as the Tenancy Agreement signed with the Landlord in your office/shop directory as follows:-

Unit/Shop No. _____

Company Name
(In English) _____

(In Chinese) _____

Confirmed By

Tenant's Signature and Chop

Date

To : All Tenants of Allied Kajima Building

Security Measures – Allied Kajima Building

We would like to remind all tenants to take necessary precautions to strengthen the security measures :

1. Remember to lock up all doors, windows and accessible passage ways before leaving the premises.
2. Do not leave valuable items at home.
3. Keep all keys in strict custody at all times.
4. Report to the management office or the police when discover strangers in the building.

Thank you for your kind attention.



防盜措施 - 聯合鹿島大廈

管理處欲提醒各租戶小心門戶，以免賊人有機可乘。為保護各租戶之財物，請採取下列之防盜措施：

1. 離開單位前請緊記將所有門窗及通道鎖好。
2. 避免擺放大量現金於單位內。
3. 於任何時間保管門匙。
4. 當發現任何陌生人於大廈時，請儘快通知管理處或報警。

敬希垂注！

此 致
聯合鹿島大廈各租戶

To : All Tenants of Allied Kajima Building

Fire Prevention – Allied Kajima Building

In order to reduce the tragedy of fire and to safeguard the tenants of Allied Kajima Building, all tenants are requested to take necessary precautionary measures to prevent the outbreak of fire. The following rules must be observed :

1. **Careful Handling of Naked Flames and Combustibles**
 - Dispose cigarette and cigar butts, matches and pipe 'knockouts' in suitable receptacles only. NEVER throw them into waste paper basket or anywhere unless they are completely extinguished.
 - Do not store inflammable liquid or articles that might constitute fire hazard : i.e. petrol; kerosene and lacquer thinner; and
 - Do not leave home before finishing cooking. Cooking equipment should be checked all the time.
2. **Correct Use of Electrical Equipment**
 - Do not use unsafe electricity operated equipment. Faulty plugs or wiring must be repaired immediately.
 - Where electrical appliances/equipment are in use, it is essential that all wiring, plugs and sockets are maintained in good order at all times.
 - Do not overload electrical circuits by using multi-outlet sockets.
 - SWITCH OFF all electrically operated equipment before leaving home and going to bed.
3. **Means of Escape**
 - Clear all passageways, corridors, staircases, staircase landings and smoke lobbies from obstruction at all times.
 - Keep smoke stop doors closed and unlocked at all times.
4. **Fire Service Installations and Equipment**
 - Do not allow any obstruction to fire service installations and equipment, e.g. sprinkler system, fire alarm and hose reel should not be blocked.

Enclosed herewith the guidance of how to escape and how to fight the fire for the reference of all owners / occupants in order to mitigate the fire risk and minimize the possibility of the outbreak of fire at the building.

Should you have any enquiry, please feel free to contact the management office or fire station for more information.



防火措施 - 聯合鹿島大廈

爲了保障各租戶之安全及避免火警發生，管理處欲要求各租戶採取各種所需的預防措施，以下規則必須嚴格遵守：

1. **正確處理火種及易燃物品**
 - 香煙及雪茄的煙蒂、火柴及煙斗的餘燼必須棄置在適當的盛器內。如未完全熄滅，切勿掉進廢紙籃內或隨處拋擲。
 - 不得存放可能構成火警危險的易燃液體或物品，例如電油、火水及天拿水等。
 - 於煮食時應小心，爐火必須有人看守，並經常檢查及清理爐具。
2. **正確使用電器裝置**
 - 電器/用電操作的器材如有問題，切勿使用。插頭或電線如有損壞，必須立即修理。
 - 必須確保電器/用電操作的器材，所有電線、插頭及插座在任何時候均操作正常。
 - 不要使用多孔插座令電力負荷過重。
 - 如在一段長時間內毋須使用用電操作的器材或離開住宅外出時，應關掉電源。
3. **走火通道應留意事項**
 - 任何時候所有通道、走廊、樓梯、樓梯梯台及防煙廊必須保持暢通無阻。
 - 任何時候防煙門必須緊掩及不得鎖上。
4. **消防設備及裝置**
 - 不得容許阻礙消防裝置，例如花灑系統、火警警鐘、消防喉籠等不應被傢俱或雜物阻擋。

隨函附上滅火及逃生須知，以供各住戶參閱並能提高警覺，對於發生火警時能有莫大幫助。住戶如有疑問，請向消防局或管理處查詢。

此 致
聯合鹿島大廈各租戶

HOW TO FIGHT THE FIRE

1. If you see a FIRE, remain CALM.
2. Smash the glass of the fire alarm nearest to you and press the alarm button.
3. Dial 999 to report to the Fire Station if you can find a telephone nearby, state the location of the fire scene briefly and clearly.
4. Try to use the hose reel to put out the fire if possible. For a fire in electrical equipment, do not use water on them. Use dry power or foam if available. And immediately switch off the current at the mains if possible.
5. Toward the EXIT to escape.

HOW TO ESCAPE

1. Use wet towel to cover your nose in order to avoid suffocation by dense smoke.
2. Gather all staffs of the company to escape on GROUND FLOOR.
3. After seeing that everyone in the unit has been taken to a safe place, the person in-charge should then close the doors and windows behind him to prevent the fire from spreading.
4. Proceed in orderly manner via the nearest staircase to the GROUND FLOOR.
5. On arrival of the GROUND FLOOR, resident should take roll-call. And immediately report to Fire Brigade or COMMAND POST.
6. Points to be borne in mind :-
 - DO NOT USE THE LIFTS.
 - WALK, do not run.
 - Help and let women, old and weak, and handicapped personnel evacuate first.
 - Carry nothing larger than a brief-case.
 - Try to wear casual shoes.

(For further information, please contact Fire Service Department or Management Office)

滅火要點

1. 當發現火警時，應保持鎮定。
2. 應即往最近的警報掣，並將玻璃擊破，啓動火警訊號，讓大家知道已發生火警。
3. 如能在附近找到電話，應速電 999 通知消防局，清晰及扼要地說明起火地點。
4. 在安全環境下，嘗試使用滅火喉滅火，若火頭接近電源，則切勿使用水劑，應改用乾粉或化學泡沫之滅火劑，在可能情況下關截所有電源。
5. 若火勢不受控制，應即往最近之出路逃生。

逃生要點

1. 以濕布掩鼻，避免濃煙窒息。
2. 租戶須集合租戶員工撤離至地面。
3. 離開火場時，須確知單位內各人已離開，將所有門戶及窗門關閉，以阻延火勢擴散。
4. 利用最近的樓梯，有秩序地疏散至地面。
5. 當抵達地面，租戶應該點租戶員工。若發現人數不足，即向消防隊或指揮站報告。
6. 走火時須特別留意：
 - 切勿乘搭電梯。
 - 迅速步行，但不要爭先恐後奔走。
 - 先讓婦孺、老弱及傷健人仕安全離去。
 - 不要攜帶超過公事包體積的物件。
 - 儘量穿著平底鞋。

(如有疑問請向消防局或管理處查詢)

To : All Tenants of Allied Kajima Building

Safety Measures in Using the Lifts – Allied Kajima Building

In order to enhance the safety when travelling in the lift, all tenants are requested to take necessary precaution measures to prevent the accident and minimize the possibility of the lift breakdown. The following rules must be observed :

- *Do not overload the lift car. Take notice of the advised maximum person loading.*
- *Children are not allowed to play in the lift or let them travel alone.*
- *Do not put the hands between the lift door gap when the lift is under operation.*
- *Do not use trolley to knock against the lift door.*
- *Do not lean on the lift door whenever inside the lift car or waiting for the lift, as it will cause accident when the lift stop and open suddenly.*
- *Do not press the unnecessary buttons as it may cause the lift breakdown and affect its operation.*
- *When you are trapped in the lift, never try to open the lift door by force or intend to open the emergency rescue panel at the top of the lift car since this action will affect your own safety, only need to press the emergency alarm button for help. As there are sufficient ventilation and facilities inside the lift car, so do not afraid and just stay calm until rescue.*
- *Do not use the lift when there is a fire occurred.*

Thank you for your kind attention.



使用升降機之安全措施-聯合鹿島大廈

爲了加強使用升降機之安全，管理處提醒各租戶採取各種所需之預防措施。以下規則必須嚴格遵守：

- 使用升降機時切勿超載，須注意最高之載客量。
- 兒童不准許於升降機內玩耍或獨自乘搭升降機。
- 於升降機操作時，切勿將手放於升降機門之隙縫中。
- 切勿用手推車撞擊升降機門。
- 於乘搭或等候升降機時，切勿倚靠門上，以免升降機到達開門時引致意外。
- 切勿胡亂按不適用之按鈕，因這會影響升降機操作或引致停頓。
- 當被困於升降機時，別企圖強行打開升降機門或緊急逃生口，因這會危及個人安全。由於升降機內有足夠之空氣，因此無需驚恐，應保持冷靜，按動警鐘等待救援。
- 於火警發生時，切勿使用升降機。

敬希垂注！

此 致
聯合鹿島大廈各租戶

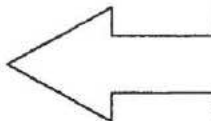
ALLIED KAJIMA BUILDING
REQUEST FOR ADDITIONAL AIR-CONDITIONING SUPPLY

We, _____ of _____
(Tenant Name) (Room No./Floor)

request for additional air-conditioning supply to the above Unit(s)/Floor(s) for the period(s) detailed below. Please debit the relevant charges to our account at the current rate for this building.

For Tenant's Use			For Management Office Use Only		
Date	Starting Time	Finishing Time	No. of Hours	Current Rate	Charge Amount
			Total Sum		

Please use the relevant
COMPANY NAME CHOP.
 請用適合的公司名稱印章。



 Authorized Signature with Company Chop

Date : _____

- Important Note :**
- (1) Minimum Charge : Two (2) Hours
 - (2) All requests should be submitted to the Management Office by Fax (No. 25073667) or by Hand to the Main Lobby at least ONE working day before the date required the services.
 - (3) All charges are calculated on every half hour basis. Service required less than half hour will be counted as half hour cost. (e.g. 18:30-19:45 = 1½ hours)

For Office use only :

Noted by (Maintenance)	Checked by (Mgt. Office)	Authorized

聯合鹿島大廈裝修開工紙

物業單位： _____ 樓 _____ 室

總承建商： 商號名稱： _____

負責人姓名： _____

工作性質： _____

開工日期： _____ 完工日期： _____ 開工人數： _____ 名(每日平均數)

裝修及有關工程之守則：

1. 任何裝修工程進行前，必須將開工紙將貼於其單位大門/鐵閘外當眼處，此開工紙必須附有管理處蓋印方為有效。
2. 開工紙如有遺失，其租戶/承造商須以書面向管理處申請即日補領。
3. 開工紙如遭私自塗改，將被作廢。
4. 當室內進行施工時，切記將大門關上，以免工作時產生的噪音或塵埃影響其他租戶。
5. 切勿在走廊、後樓梯及客/貨較堂進行任何工程或將泥頭/裝修廢物堆放走廊後梯，一經查証屬實及影相作存，將由其裝修保證金內扣除有關清理費用。
6. 在單位裝修期內，租戶或承建商必須自行購買財產及意外保險。
7. 不得接駁未經許可之電源及使用消防喉水。裝修時若需要供應臨時電源，請向管理處申請，並預先繳付費用。
8. 所有進行風煤焗焊或電焊的工作必須向保安部登記。而有關承造商必須遵守消防處或勞工處的條例和依循管理處人員的指示。
9. 所有易燃物件、材料及工具必須存放妥當及遵守有關法例，以免產生火警危險。
10. 有關單位之租戶或承辦商必須在其單位內，設有滅火筒以防火警發生。如租戶或裝修承辦商未有遵照設置滅火筒，管理處將代安排購買而費用將於裝修按金扣除。
11. 單位裝修負責人必須在每日收工前巡視，以確保沒有火種留下、關妥門窗及電源等事項。
12. 單位裝修負責人/租戶必須就有關營造地台工程預先通知管理處，同時須採取適當措施以防止影響其他租戶(例如下層單位滲水)。
13. 商舖租戶/承辦商安裝或修改冷氣冷凍水喉管須得業主及管理處允許施工，同時須經由大廈指定承辦商進行冷凍水喉管之妥善處理及檢定後方可重新開放大廈冷凍水供應。因此，租戶/承建商必須裝修工程初期申請和安排。
14. 重型工具包括鑽鑿、電炮、鑿地等滋擾噪音工作以及使用化學物料如力架或天拿水等均只准在下列時間進行：

星期一至五：下午一時至下午二時及下午六時至晚上十時

星期六：下午一時至晚上十時

星期日及公眾假期：全日

同時管理處保留最終的決定時間安排。

注意：如有違反下列其中一項者，將被每次扣除按金如下：

違反項目	扣除裝修保證金數額(每次)
1) 沒有張貼裝修開工紙	HK\$ 50.00
2) 裝修施工時並無關上大門	HK\$ 100.00
3) 在後梯、走廊或客/貨 堂進行任何工程	HK\$ 500.00
4) 在後梯、走廊、客/貨 堂堆放泥頭或任何裝修廢物	HK\$ 1,000.00
5) 違規噪音/滋擾	HK\$ 500.00

如違反上述規則，將被扣除裝修按金。管理處並保留權利，拒絕此等人仕進入大廈。

對於違反以上任何規條的單位，管理處有權關掉電力及食水供應，以免其繼續開工滋擾其他租戶。

此外，租戶應督導促其承建商遵守有關細則，倘若裝修工程完成，租戶支付餘款前，應先行與管理處聯絡，查證其單位於施工期內是否曾被管理處扣除保證金。

特此聲明，多謝合作！

以上協議，經各方面簽署同意及作實：

裝修承建商負責人簽署

租戶簽署

管理處簽署及蓋印

日期：

Renovation Works of New Headquarters for the Construction Industry Council

Ref. (267) in P/AE/PUR/AGC

Assignment Brief – Annex 5

Building Services Installation in Compliance with Building Energy Code 2015

The Contractor is required to supply and install building services installation in compliance with the Building Energy Efficiency Ordinance (BEEO Cap. 610) and Code of Practice for Energy Efficiency of Building Services Installation (BEC) edition 2015. The following table shows the major requirements for quick reference, detailed specification shall refer to BEC.

Lighting Installation		
Maximum Lighting Power Density (LPD)	Maximum Allowable LPD for office for enclosed internal floor area at or below 15m ² is 13 W/m ² . For open plan or with internal floor area above 15 15m ² is and 12 W/m ² .	BEC Clause 5.4
Lighting Control Point (Lighting switch)	Quantities of lighting control points for office space shall fulfill Clause 5.5.1 of BEC	BEC Clause 5.5.1
Automatic Lighting Control	Automatic lighting control shall be provided to the office space, conference room, store room and toilets, etc unless the fixed lighting installation in the space does not exceed 150W. The control should be able to shut off or reduce the general lighting power by at least 50% automatically of the lighting zone being controlled. Daylight responsive control shall be provided for daylight through fenestrations on exterior wall.	BEC Clause 5.6.1

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Air Conditioning Installation		
Design Conditions	Design indoor condition for office is 23oC and 50% RH. Design outdoor condition shall be 35°C d.b., <29°C w.b.	BEC Clause 6.4.2
Air Distribution Ductwork Leakage Limit	At least 25% in area of ductwork designed to operate at operating static pressure in excess 750Pa should be leakage-tested in accordance with DW143 and meet BEC's standard.	BEC Clause 6.6.1
Air Distribution System Fan Power	The fan power for CAV and VAV systems (including supply and return) per volume of air flow is limited, which is 1.6Wper l/s and 2.1W per l/s respectively.	BEC 6.7.1
	An air-conditioning system with fan motor power of 1.0kW or above shall be designed to vary the airflow as a function of load.	BEC 6.7.4
	Motor (of fan) for CAV shall be provided with low-speed operation where the fan speed should not exceed 66% of the full speed & the fan motor should draw no more than 40% of the full speed motor.	BEC 6.7.4.1
	Exemption: Fan motor power <2.5kW; AHU fans <1kW	BEC 6.7.5
Frictional Loss of Water Piping System	Chilled water pipe friction loss shall be limited. If pipes with Ø50mm or smaller – velocity <1.2 m/s; for pipes >Ø50mm shall be sized with friction loss <400 Pa/m & velocity <2.5m/s for non-variable flow condition and velocity <3 m/s for variable flow condition.	BEC 6.9.1&2
System Control	Each zone shall have individual temperature control on the same floor except AHU serving perimeter zones on more than one floor	BEC 6.10.3.1

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Air Conditioning Installation		
	Off-hour control, including switching off the system and set-back control, shall be provided	BEC 6.10.4
	Individual control shall be provided. The device's range shall be at least 30% to 60%. Wider range is allowed.	TG 6.10.2
Thermal Insulation	Insulation for chilled water pipes, refrigerant pipes, air ducts and AHU/PAU shall fulfill BEC Table 6.11a, 6.11b & 6.11c. Contractor's attention shall be taken to the higher requirements on insulation within unconditioned spaces, such as plant rooms and above false ceilings.	BEC 6.11.1
	Insulation for outdoor or in unconditioned space shall be water vapour retardant as per BEC.	BEC 6.11.2
Air-conditioning Equipment Efficiency	Chiller and air-conditioner efficiency shall fulfill BEC Table 6.12a & 6.12b	BEC 6.12
Open Circuit Cooling Tower Fan Motor Performance	Cooling tower shall fulfill BEC requirement on minimum water flow per unit tower fan motor nameplate power, 1.7l/s per kW for centrifugal fans and 3.4l/s per kW for propeller or axial fans.	BEC 6.12.4
Energy Metering	Metering or monitoring devices (DDC) shall be provided to measure the power quality and efficiency of the chiller and air-conditioner if the plant is larger than 350kW in capacity (Unlikely happens for this case.)	BEC 6.13 & 6.14

Electrical Installation		
Load balance	The 3-phase current (i.e. L1, L2 & L3) shall be balanced and difference shall be less than 10%	BEC Clause 7.6.3

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Electrical Installation		
Copper Loss	Maximum copper loss in a sub-main, not exceeding 100m length should not exceed 1.5% of the total active power transmitted; for exceeding 100m, should not exceed 2.5% of total active power transmitted.	BEC Clause 7.4.4.2
	Final circuit of current over 32A shall have copper loss less than 1%	BEC Clause 7.4.5
Harmonic	Total harmonic distortion shall be less than 20% if rated current is less than 40A. Lower for other larger current rating	BEC Clause 7.6.2.2
	Harmonic correction device shall be added or a space shall be spared for such device	BEC Clause 7.6.2.3
	If several motors with variable speed drives are installed, group correction device is allowed such that the 5 th harmonic current distortion becomes 35% or below	BEC Clause 7.6.2.4
Metering	Power energy meter shall be provided for circuit larger than 200A and smaller than 400A	BEC Clause 7.7.2.1
	Power quality measuring device shall be provided for circuit at 400A or above	BEC Clause 7.7.2.2
Power Factor	Power factor of any circuit shall be larger than 0.85	BEC Clause 7.6.1.1
	Correction device shall be added or a space shall be spared for such device	BEC Clause 7.6.1.3
Copper Loss	Maximum copper loss in a sub-main, not exceeding 100m length should not exceed 1.5% of the total active power transmitted; for exceeding 100m, should not exceed 2.5% of total active power transmitted.	BEC Clause 7.4.4.2
	Final circuit of current over 32A shall have copper loss less than 1%	BEC Clause 7.4.5

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Electrical Installation		
Motor Efficiency	The minimum efficiency of motors (e.g. of fans, pumps, etc.) of different ratings from 7.5kW to 200kW or above shall fulfill Table 7.5.1 of BEC (i.e. motor grade IE-3 or above)	BEC Clause 7.5.1
Motor Sizing	Motor above 5kW output power rating should not exceed 125% of the anticipated system load. If the calculated 125% of system load does not fall in the rating of a standard rated motor, the next higher rating standard motor may be used.	BEC Clause 7.5.2